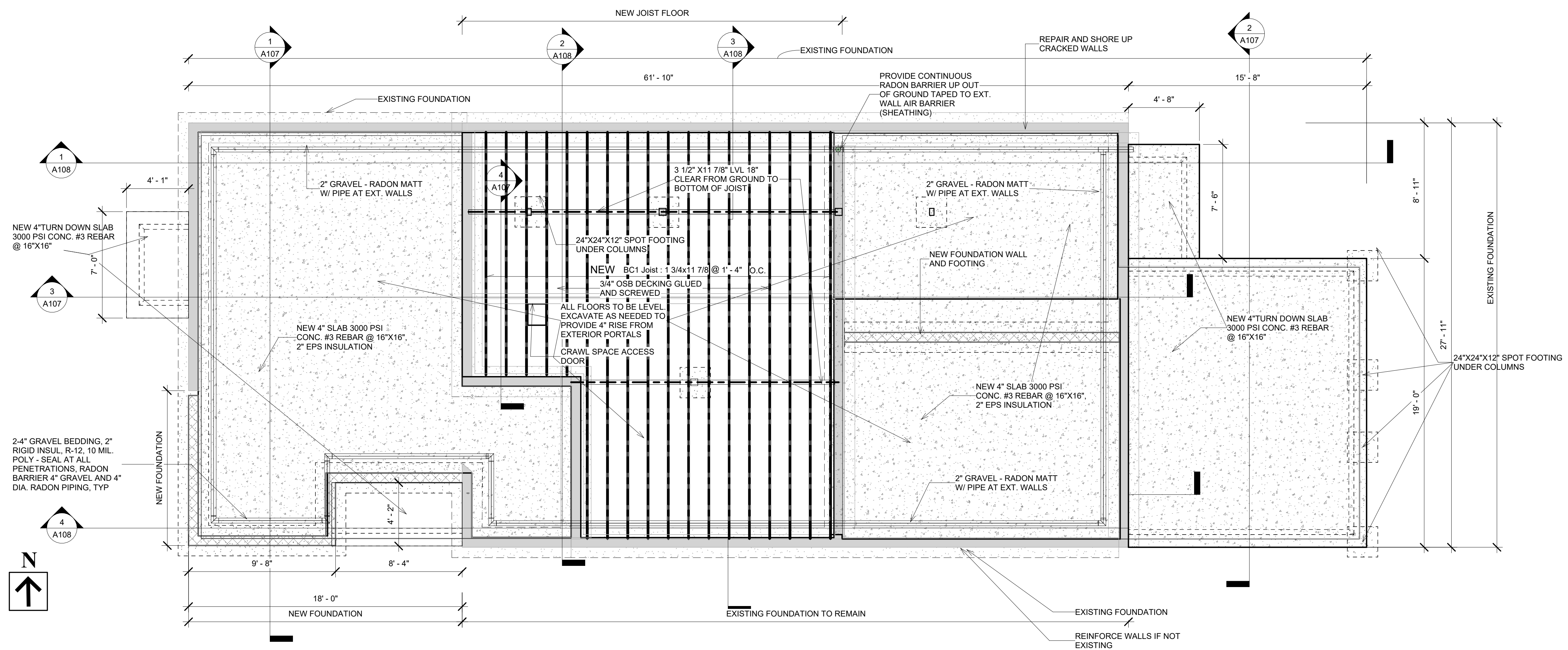


FOUNDATION NOTES

1. ALL FOOTING TO BE A MINIMUM OF 24" BELOW GRADE.
2. SLEEVE ALL PIPING THROUGH FOUNDATION.
3. ALL WOOD PLATES INTERIOR AND EXTERIOR TO BE PRESSURE TREATED OR FOUNDATION REDWOOD. INTERIOR PLATES TO BE GLUED W/CONST. ADHESIVE (TO AVOID PUNCTURING RADIANT FLOOR PIPING).
4. ALL CONCRETE TO BE MIN. 3000 PSI.
5. ALL FOOTING SHALL BE PLACED ON COMPACTED, ENGINEERED FILL. WHERE FOOTINGS ARE LOCATED IN AREAS OF CUT, OVER EXCAVATE TRENCHES A MINIMUM OF 24". FILL TRENCHES TO LEVEL OF BOTTOM OF FOOTING WITH COMPACTED, ENGINEERED FILL. COMPACT TO A MINIMUM OF 95% OF MOD. PROCTOR DENSITY. PROVIDE GEOTEST RESULTS.

NOTE

FOR ALL EXISTING MASONRY WALLS - VERIFY THE EXISTENCE OF MASONRY WALL FOUNDATION. PROVIDE 1'X1' FTG ON EACH SIDE OF THE WALL IF NONE EXIST. PROVIDE UNDER BASE PRICE AS A DEDUCTIVE ALTERNATE.



PROPOSED FOUNDATION PLAN AND GROUND FLOOR FRAMING

1
1/4" = 1'-0"

PROJECT: FALVEY GARAGE REMODEL

ADDRESS: 539 ONATE PLACE, SANTA FE, NM

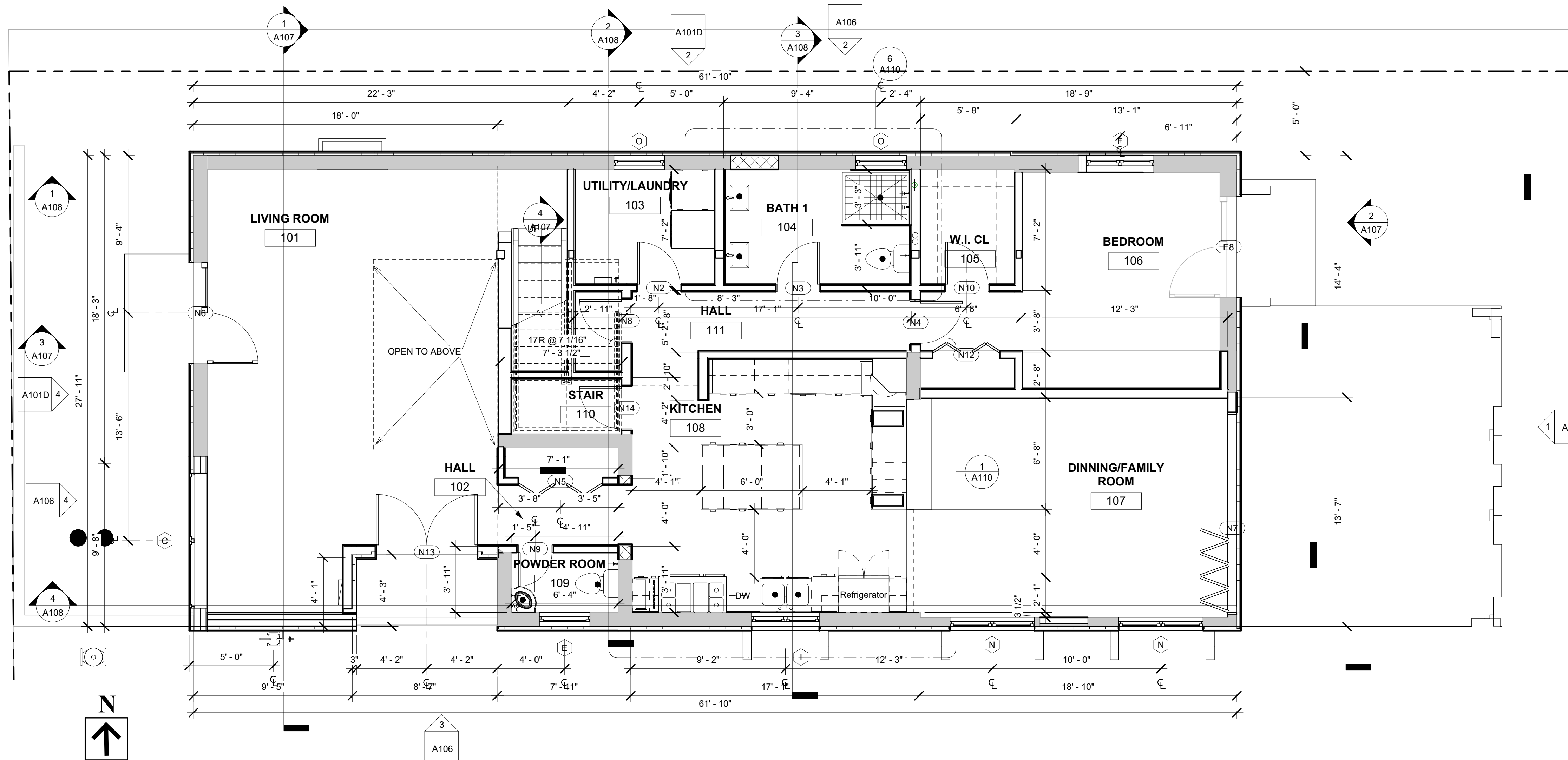
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Revision date:

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MAIN HOUSE AREAS		
Name	Area	Level
HEATED - EXISTING MAIN HOUSE	1567 SF	FIRST FLOOR
HEATED - PROPOSED ENCLOSED PORTAL	130 SF	FIRST FLOOR
UNHEATED - EXISTING REAR PORTAL	298 SF	FIRST FLOOR
UNHEATED PROPOSED NEW ENTRY	29 SF	FIRST FLOOR
HEATED - PROPOSED SECOND FLOOR	980 SF	SECOND FLOOR - PROPOSED
UNHEATED - SECOND FLOOR PORTAL	100 SF	SECOND FLOOR - PROPOSED
Grand total: 6	3104 SF	

PROPOSED AREAS		
Name	Area	Level
HEATED - PROPOSED ENCLOSED PORTAL	130 SF	FIRST FLOOR
UNHEATED PROPOSED NEW ENTRY	29 SF	FIRST FLOOR
HEATED - PROPOSED SECOND FLOOR	980 SF	SECOND FLOOR - PROPOSED
UNHEATED - SECOND FLOOR PORTAL	100 SF	SECOND FLOOR - PROPOSED
Grand total: 4	1239 SF	

EXISTING ROOFED AREA	
Name	Area
ROOFED AREA	2025 SF
EXISTING GH	724 SF
Grand total: 2	2750 SF

PROPOSED HEATED AREA	
Name	Area
HEATED - PROPOSED SECOND FLOOR	980 SF
HEATED - PROPOSED ENCLOSED PORTAL	130 SF
Grand total: 2	1110 SF

PROPOSED UNHEATED AREA	
Name	Area
UNHEATED - SECOND FLOOR PORTAL	100 SF
UNHEATED PROPOSED NEW ENTRY	29 SF
Grand total: 2	129 SF

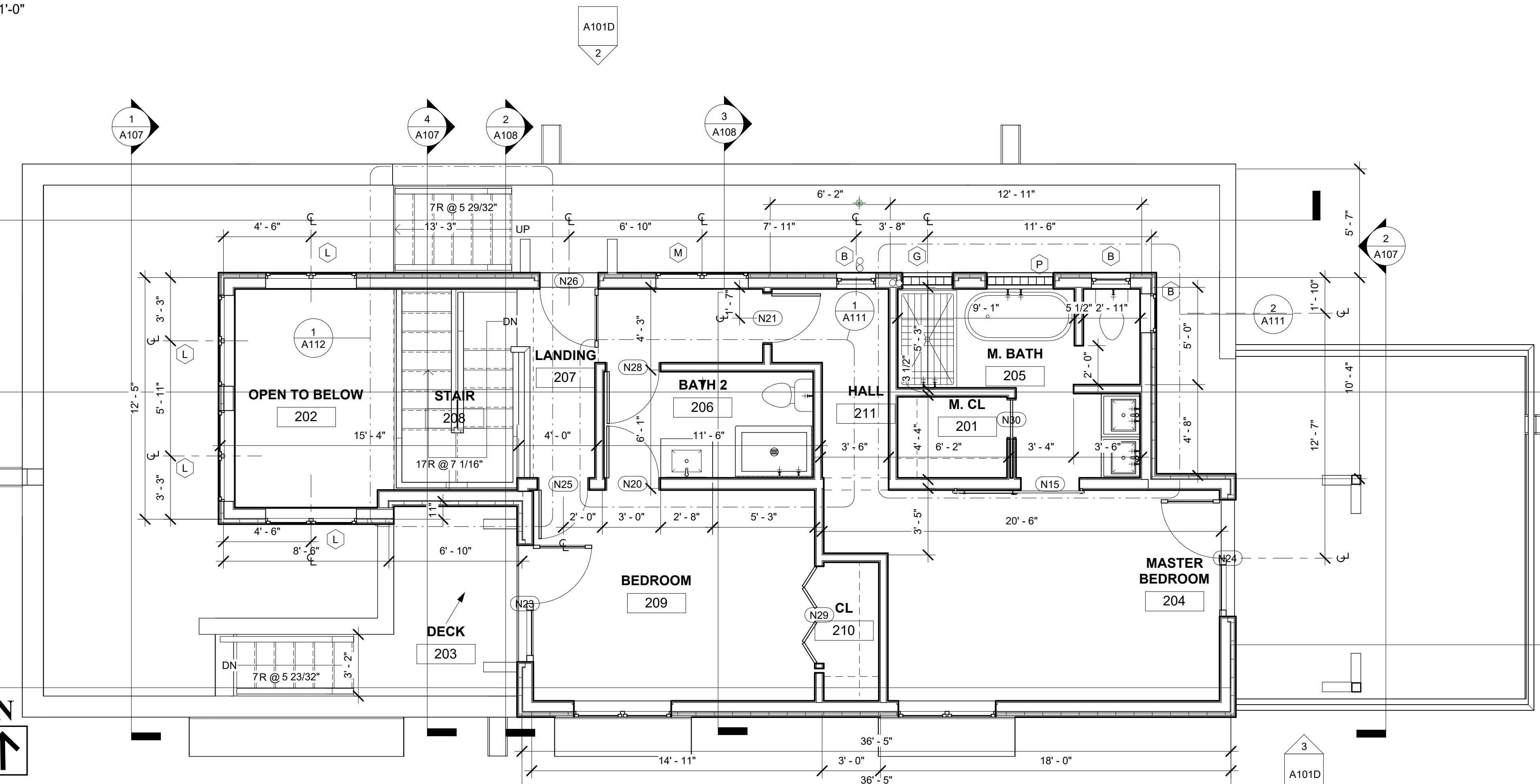
1 GROUND FLOOR PLAN - PROPOSED
1/4" = 1'-0"

INSULATION NOTE

MIN. INSULATION VALUES SHALL BE:
 WALLS: R25
 CEILINGS: R48
 CELLULOSE IN FRAME WALLS OR CEILINGS
 MASONRY WALLS 2" EPS
 EXPOSED BEAM CEILINGS 8" POLYISO PLUS TAPERED INSULATION

FLOOR PLAN GENERAL NOTES

- PROVIDE 1/2" GYP. BD. TYPE X ON ALL INTERIOR WALLS AND CEILINGS OF REMODELED AND NEW SPACES INTERIOR FINISH-1/2" SHEET ROCK, TO MATCH
- EXT. FINISH SHALL BE 2 COAT STUCCO SYSTEM (WEST ONE-COAT) WITH FIBERGLASS FIBERS AND A ELASTOMERIC FINISH COLOR (STO-TUBBLEWEED) SELECTED BY THE OWNER FROM FROM APPROVED SAMPLES.
- THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. WITH AN AIR BARRIER, TYVEK OR EQUAL. IT SHALL BE CAULKED GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED
- INSTALL DOOR STOPS ON ALL DOORS



2 SECOND FLOOR PLAN - PROPOSED
1/4" = 1'-0"

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FALVEY GARAGE REMODEL
 ADDRESS: 539 ONATE PLACE, SANTA FE, NM
 SHEET TITLE: FLOOR PLANS

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Door Schedule							
Mark	Family	Thickness	Head Height	Width	Comments	Phase Created	Level
N1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	1 3/8"	6' - 8"	3' - 0"		New Construction	FIRST FLOOR
N2	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	FIRST FLOOR
N3	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	FIRST FLOOR
N4	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	FIRST FLOOR
N5	Bifold-4 Panel	1 1/2"	7' - 0"	5' - 0"		New Construction	FIRST FLOOR
N6	Double_Door_Glass_248 patio		8' - 0"	6' - 0"		New Construction	FIRST FLOOR
N7	Panel_Fold_Door_1819		7' - 0"	12' - 0"		New Construction	FIRST FLOOR
N8	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	FIRST FLOOR
N9	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 0"		New Construction	FIRST FLOOR
N10	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	FIRST FLOOR
N12	Bifold-4 Panel	1 1/2"	7' - 0"	4' - 0"		New Construction	FIRST FLOOR
N13	Double-Panel 2	1 3/4"	8' - 0"	6' - 0"		New Construction	FIRST FLOOR
N14	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	5' - 6"	2' - 6"		New Construction	FIRST FLOOR
N15	Interior_barn_door_18732		7' - 0"	3' - 0"		New Construction	SECOND FLOOR - PROPOSED
N20	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 8"		New Construction	SECOND FLOOR - PROPOSED
N21	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	SECOND FLOOR - PROPOSED
N23	Double_Door_Glass_248 patio		6' - 8"	6' - 0"		New Construction	SECOND FLOOR - PROPOSED
N24	Double_Door_Glass_248 patio		6' - 8"	6' - 0"		New Construction	SECOND FLOOR - PROPOSED
N25	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 6"		New Construction	SECOND FLOOR - PROPOSED
N26	Single-Glass 1	2"	7' - 0"	3' - 0"		New Construction	SECOND FLOOR - PROPOSED
N28	Door-Interior-Single-Flush_Panel-Wood	1 3/8"	6' - 8"	2' - 8"		New Construction	SECOND FLOOR - PROPOSED
N29	Bifold-4 Panel	1 1/2"	7' - 0"	5' - 0"		New Construction	SECOND FLOOR - PROPOSED
N30	Door-Interior-Single-Pocket-2_Panel-Wood	1 3/8"	7' - 0"	2' - 0"		New Construction	SECOND FLOOR - PROPOSED

Window Schedule								
Type Mark	Family	Width	Height	Sill Height	Glass Block Material	Glass Block Thickness	Phase Created	Level
C	Window-Awning-Double-Horizontal	8' - 0"	2' - 0"	4' - 8"			New Construction	FIRST FLOOR
C	Window-Awning-Double-Horizontal	8' - 0"	2' - 0"	6' - 0"			New Construction	FIRST FLOOR
E	Window-Awning-Single	3' - 0"	2' - 0"	5' - 0"			New Construction	FIRST FLOOR
F	Window-Casement-Double	4' - 0"	3' - 0"	4' - 0"			New Construction	FIRST FLOOR
I	Window-Casement-Double	4' - 0"	4' - 0"	3' - 6"			New Construction	FIRST FLOOR
N	Window-Casement-Double	5' - 0"	4' - 0"	3' - 0"			New Construction	FIRST FLOOR
N	Window-Casement-Double	5' - 0"	4' - 0"	3' - 0"			New Construction	FIRST FLOOR
O	Window-Casement-Single_Right	3' - 0"	3' - 0"	4' - 0"			New Construction	FIRST FLOOR
O	Window-Casement-Single_Right	3' - 0"	3' - 0"	4' - 0"			New Construction	FIRST FLOOR
B	Window-Casement-Single_Right	2' - 0"	3' - 0"	4' - 0"			New Construction	SECOND FLOOR - PROPOSED
B	Window-Casement-Single_Right	2' - 0"	3' - 0"	4' - 0"			New Construction	SECOND FLOOR - PROPOSED
B	Window-Casement-Single_Right	2' - 0"	3' - 0"	4' - 0"			New Construction	SECOND FLOOR - PROPOSED
G	Glass_Blocks_2776	2' - 7 9/16"	5' - 1 9/16"	1' - 10 7/16"	Glass	5"	New Construction	SECOND FLOOR - PROPOSED
L	Window-Casement-Double	4' - 8"	3' - 6"	4' - 6"			New Construction	SECOND FLOOR - PROPOSED
L	Window-Casement-Double	4' - 8"	3' - 6"	4' - 6"			New Construction	SECOND FLOOR - PROPOSED
L	Window-Casement-Double	4' - 8"	3' - 6"	4' - 6"			New Construction	SECOND FLOOR - PROPOSED
L	Window-Casement-Double	4' - 8"	3' - 6"	4' - 6"			New Construction	SECOND FLOOR - PROPOSED
M	Window-Casement-Double	4' - 9"	3' - 0"	4' - 0"			New Construction	SECOND FLOOR - PROPOSED
N	Window-Casement-Double	5' - 0"	4' - 0"	3' - 0"			New Construction	SECOND FLOOR - PROPOSED
N	Window-Casement-Double	5' - 0"	4' - 0"	3' - 0"			New Construction	SECOND FLOOR - PROPOSED
P	Glass_Blocks_2776	3' - 5 9/16"	5' - 1 9/16"	1' - 10 7/16"	Glass	5"	New Construction	SECOND FLOOR - PROPOSED

NOTE

4 1/2" UNIT, SET TO INTERIOR, DOUBLE FRAME WINDOW AND EXT. DOORS FOR SQUARE BULL-NOSE.

EXTERIOR WINDOWS AND DOOR GLAZING TO MEET CURRENT CITY & HERS RATING STANDARDS OF U-30 OR BETTER

Room Schedule									
Number	Name	Area	Level	Base Finish	Ceiling Finish	Wall Finish	Floor Finish	CEILING HT.	Comments
101	LIVING ROOM	458 SF	FIRST FLOOR	TILE	T&G WOOD	GYP. BD SMOOTH FINISH	TILE	12' - 3"	CORNERBEEAD TO BE DETERMINED
102	HALL	25 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	TILE	8' - 7"	CORNERBEEAD TO BE DETERMINED
103	UTILITY/LAUNDRY	56 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	TILE SEE ELEVS	TILE	8' - 8"	
104	BATH 1	74 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	TILE SEE ELEVS	TILE	8' - 8"	
105	W.I. CL	38 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	PLASTER SMOOTH FINISH	TILE	8' - 8"	CORNERBEEAD TO BE DETERMINED
106	BEDROOM	171 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	PLASTER SMOOTH FINISH	TILE	8' - 8"	CORNERBEEAD TO BE DETERMINED
107	DINNING/FAMILY ROOM	241 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	PLASTER SMOOTH FINISH	TILE	8' - 10"	CORNERBEEAD TO BE DETERMINED
108	KITCHEN	239 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	TILE	TILE	8' - 10"	
109	POWDER ROOM	22 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	TILE	TILE	8' - 7"	
110	STAIR	21 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	TILE	8' - 0"	CORNERBEEAD TO BE DETERMINED
111	HALL	66 SF	FIRST FLOOR	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	TILE	8' - 10"	CORNERBEEAD TO BE DETERMINED
201	M. CL	23 SF	SECOND FLOOR - PROPOSED		GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	8' - 0"	CORNERBEEAD TO BE DETERMINED
202	OPEN TO BELOW	91 SF	SECOND FLOOR - PROPOSED		T&G WOOD	GYP. BD SMOOTH FINISH	N/A	10' - 0"	
203	DECK	402 SF	SECOND FLOOR - PROPOSED		N/A	N/A	TREX	8' - 8"	
204	MASTER BEDROOM	195 SF	SECOND FLOOR - PROPOSED	WOOD STAINED	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	9' - 0"	CORNERBEEAD TO BE DETERMINED
205	M. BATH	90 SF	SECOND FLOOR - PROPOSED	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	TILE SEE ELEVS	TILE	8' - 0"	
206	BATH 2	59 SF	SECOND FLOOR - PROPOSED	TILE	GYP. BD. SMOOTH FINISH BULLNOSE	TILE SEE ELEVS	TILE	9' - 0"	
207	LANDING	31 SF	SECOND FLOOR - PROPOSED	WOOD STAINED	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	8' - 0"	CORNERBEEAD TO BE DETERMINED
208	STAIR	74 SF	SECOND FLOOR - PROPOSED	WOOD STAINED	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	9' - 0"	CORNERBEEAD TO BE DETERMINED
209	BEDROOM	157 SF	SECOND FLOOR - PROPOSED	WOOD STAINED	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	9' - 0"	CORNERBEEAD TO BE DETERMINED
210	CL	20 SF	SECOND FLOOR - PROPOSED		GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	8' - 0"	CORNERBEEAD TO BE DETERMINED
211	HALL	43 SF	SECOND FLOOR - PROPOSED	WOOD STAINED	GYP. BD. SMOOTH FINISH BULLNOSE	GYP. BD SMOOTH FINISH	WOOD	9' - 0"	CORNERBEEAD TO BE DETERMINED

FINISH NOTE

EXISTING AND NEW MASONRY WALLS TO HAVE SMOOTH FINISH PLASTER
 FRAME WALLS TO BE GYP. BD. SMOOTH FINISH
 CORNER BEAD TO BE DETERMINED.

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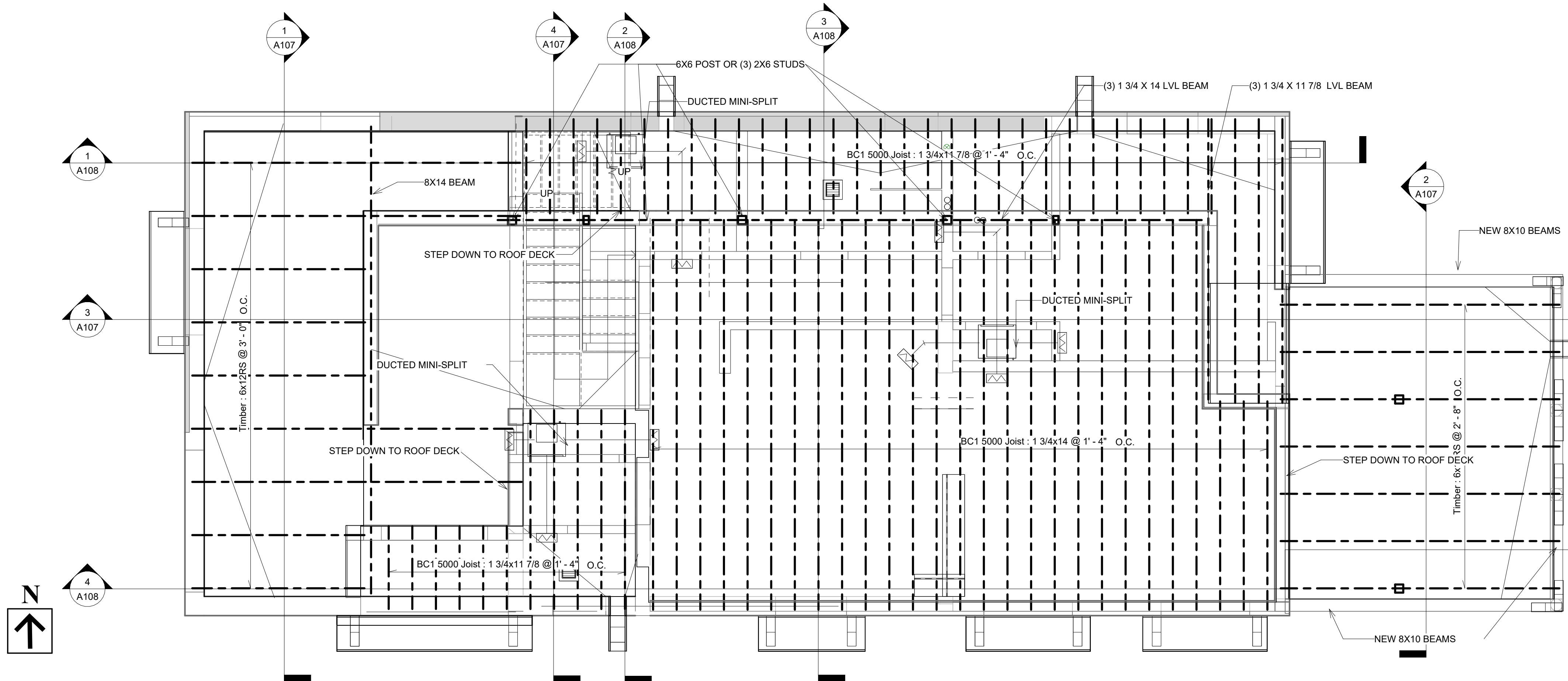
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 ADDRESS: 539 ONATE PLACE, SANTA FE, NM
 SHEET TITLE: SCHEDULES

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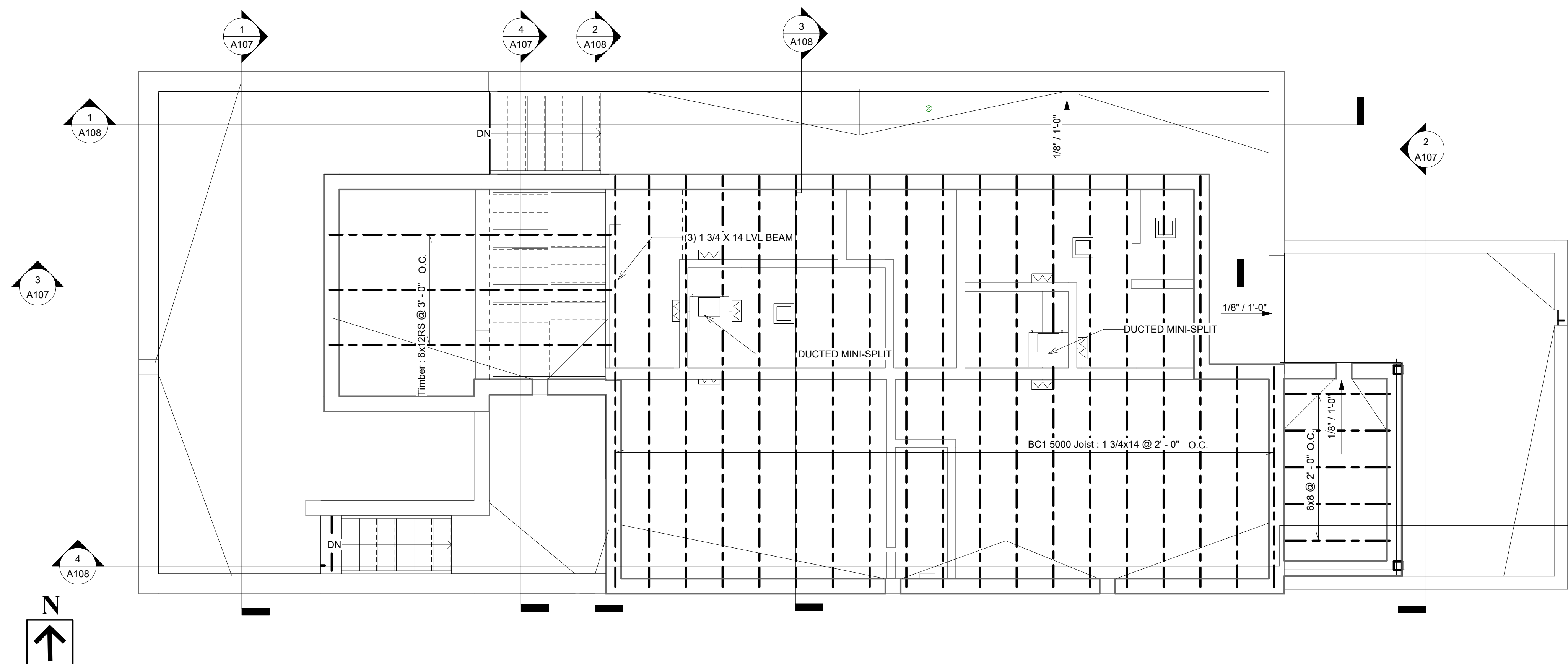
Revisions:
 Revision date:

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1 SECOND FLOOR FRAMING PLAN - PROPOSED
 1/4" = 1'-0"



2 ROOF FRAMING PLAN - PROPOSED
 1/4" = 1'-0"

FRAMING NOTES

1. ALL STRUCTURAL LUMBER TO BE #2 W.C.D.F. OR BETTER WHERE NOTED
2. ALL BEAMS TO BE #1 D.F. (FREE OF HEART CENTERS) WHERE NOTED
3. ALL METAL TIES TO BE "SIMPSON STRONG-TIE" OR EQUAL
4. ALL FRAMING AND ANCHORING PER I.B.C. CHAPTER 23
5. PROVIDE FIRE BLOCKING AT ALL WALL FURR-DOWNS AND SOFFITS
6. PROVIDE MIN. 48" LAP SPLICE AT ALL DOUBLE TOP PLATES
7. INSTALL ALL CANALES PER I.B.C. SECTION 1506-3
8. ROOF DECKING TO BE 7/16" CDX OR OSB BOARD, 32/16 PANEL INDEX RATING. DECKING OVER PORCHES SHALL BE 5/8" T-111 10. ALLOW 1/8" INCH SPACING AROUND ALL SHEATH'G. MATERIAL.
9. PROVIDE MIN. 3/8" OSB SHEAR PANELS x 4'-0" WIDE AT CORNERS W/ 1/2" A.B.'S MIN. 25" O.C. @ BASE PLATE U.N.O.
10. JOIST SIZING CORRESPONDS TO A SPECIFIC MANUFACTURER. ALTERNATE JOIST MFR. TO PROVIDE CALCS AND / OR TABLES
11. PROVIDE DROPPED CEILINGS FOR DUCTED MINI-SPLIT UNITS AND DUCTS AS NEEDED. VERIFY WITH HVAC DRAWINGS AND INSTALLER.

WOOD SPECIES AND GRADE NOTE

- BEAMS AND HEADERS: DF #1 OR BETTER, WHEN NOTED
- STUDS: SPF #2 OR BETTER
- SILL PLATES: TREATED SPF.

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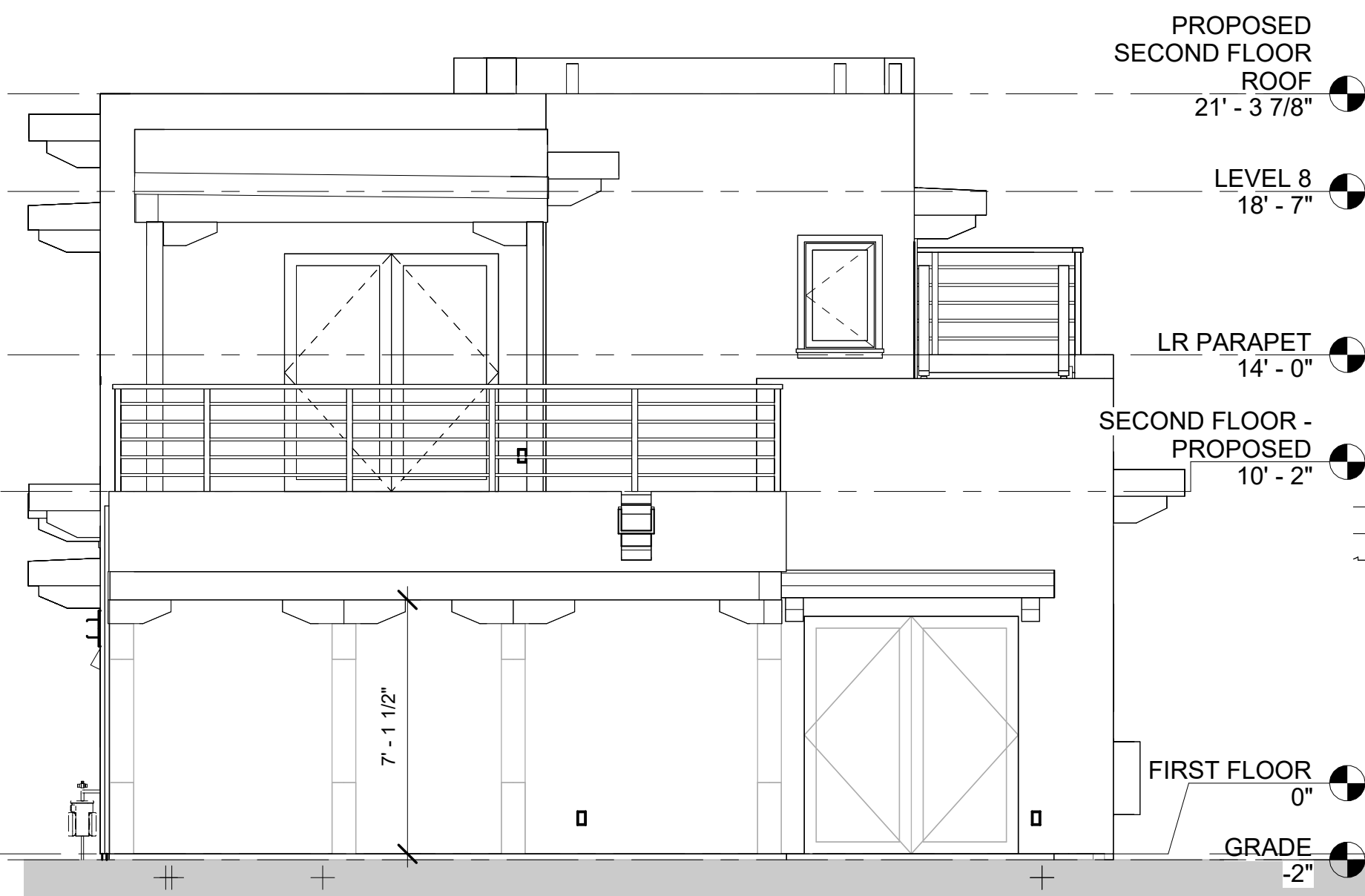
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ADDRESS: 539 ONATE PLACE, SANTA FE, NM

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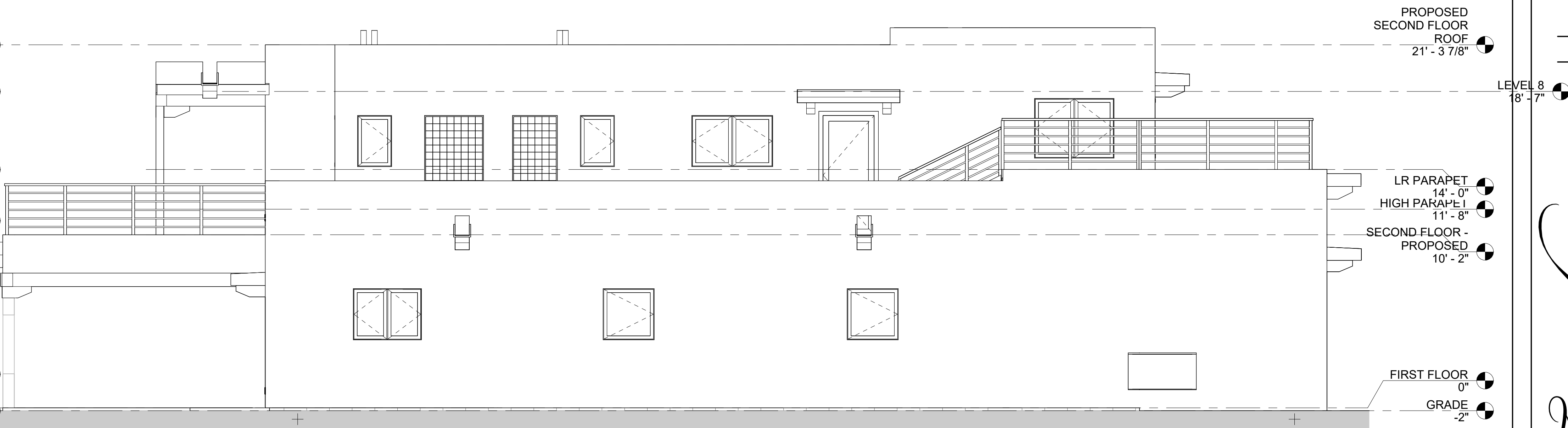
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Revision date:	

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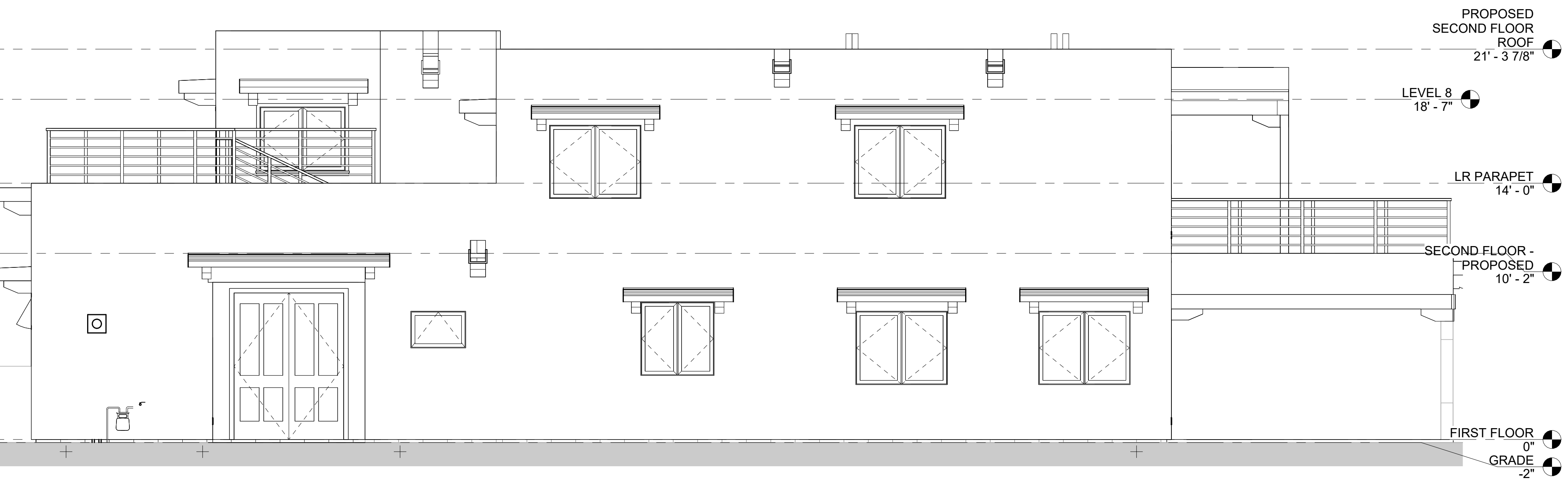
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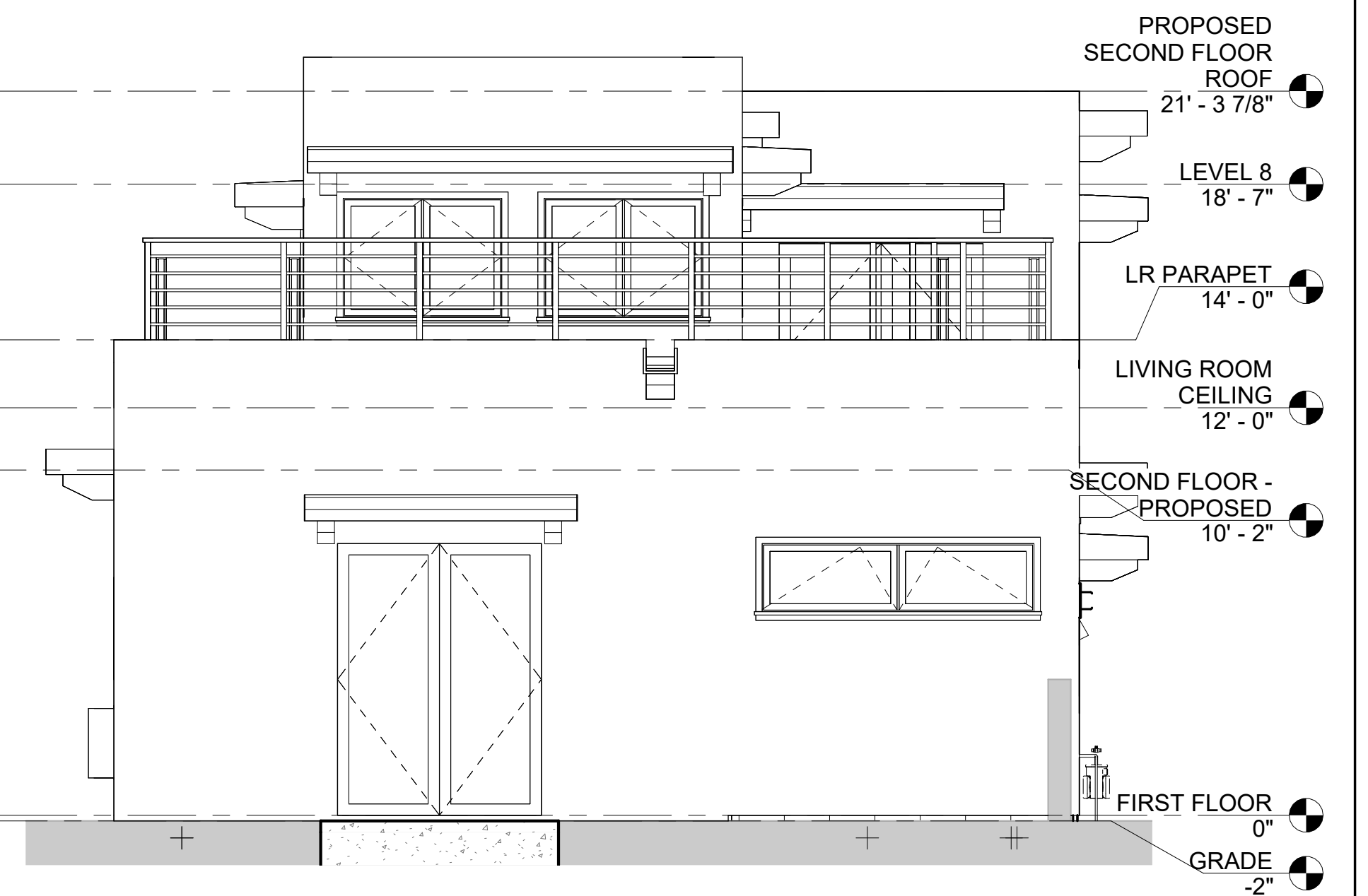
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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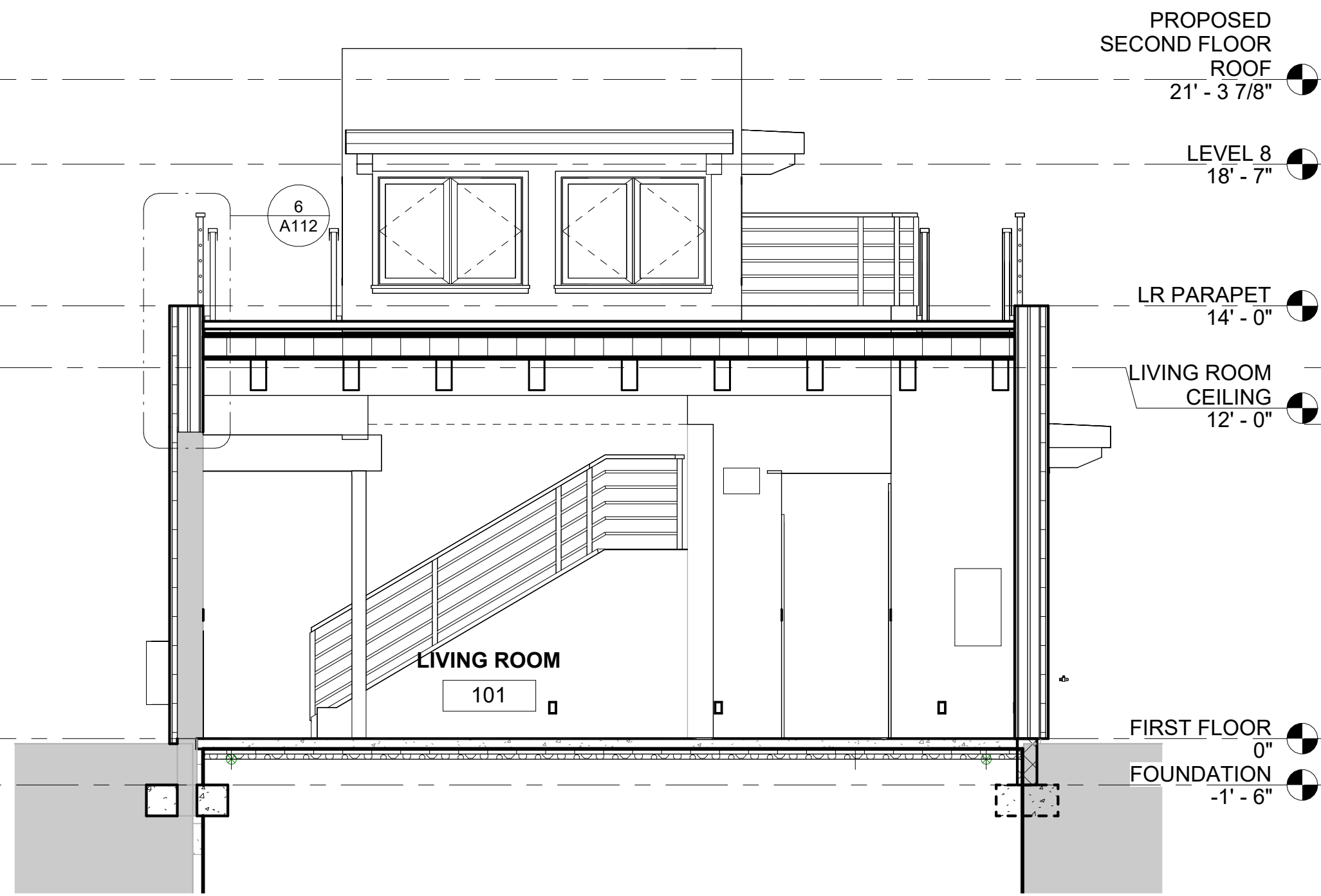
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ADDRESS: **539 ONATE PLACE, SANTA FE, NM**

SHEET TITLE: **EXTERIOR ELEVATIONS**

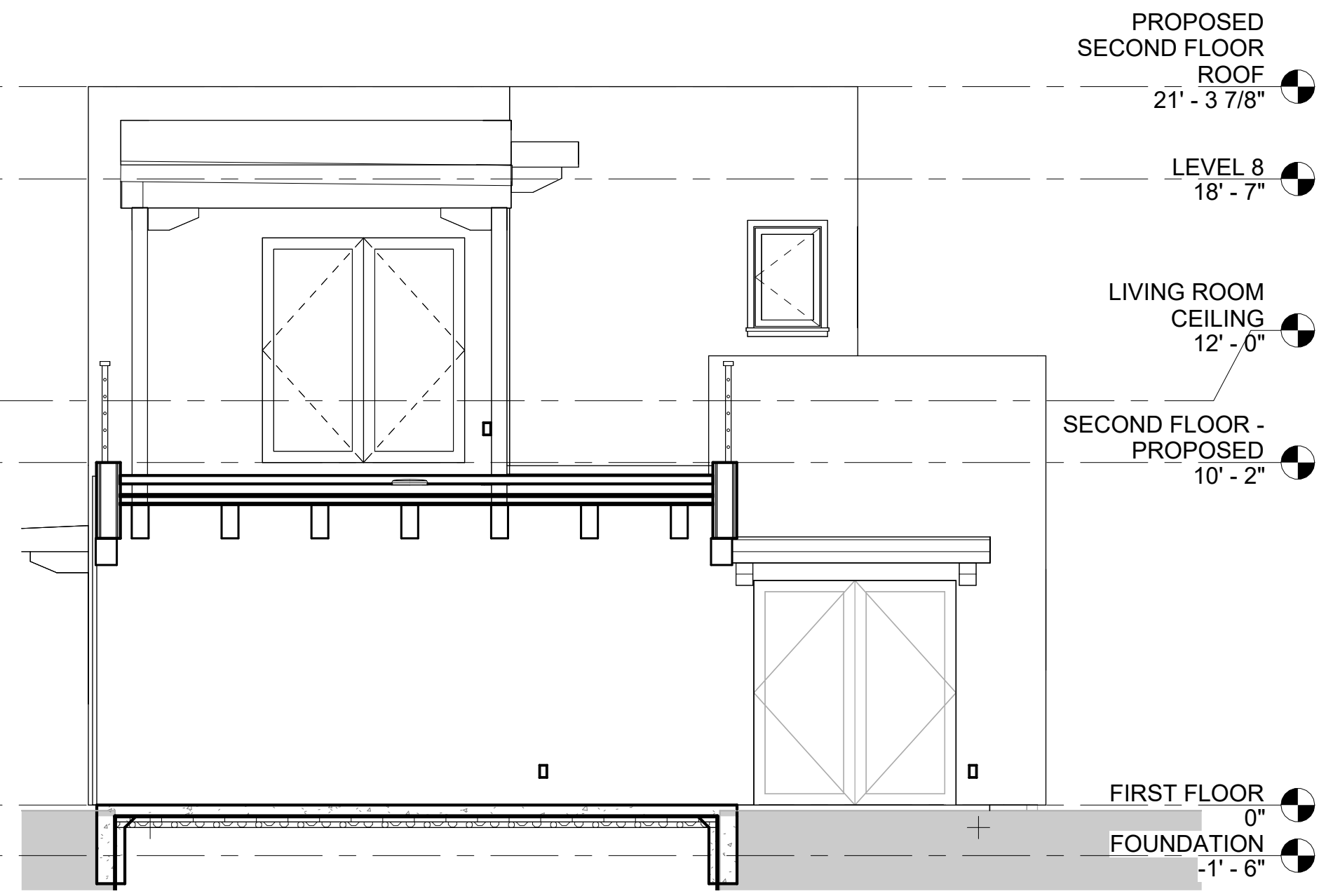
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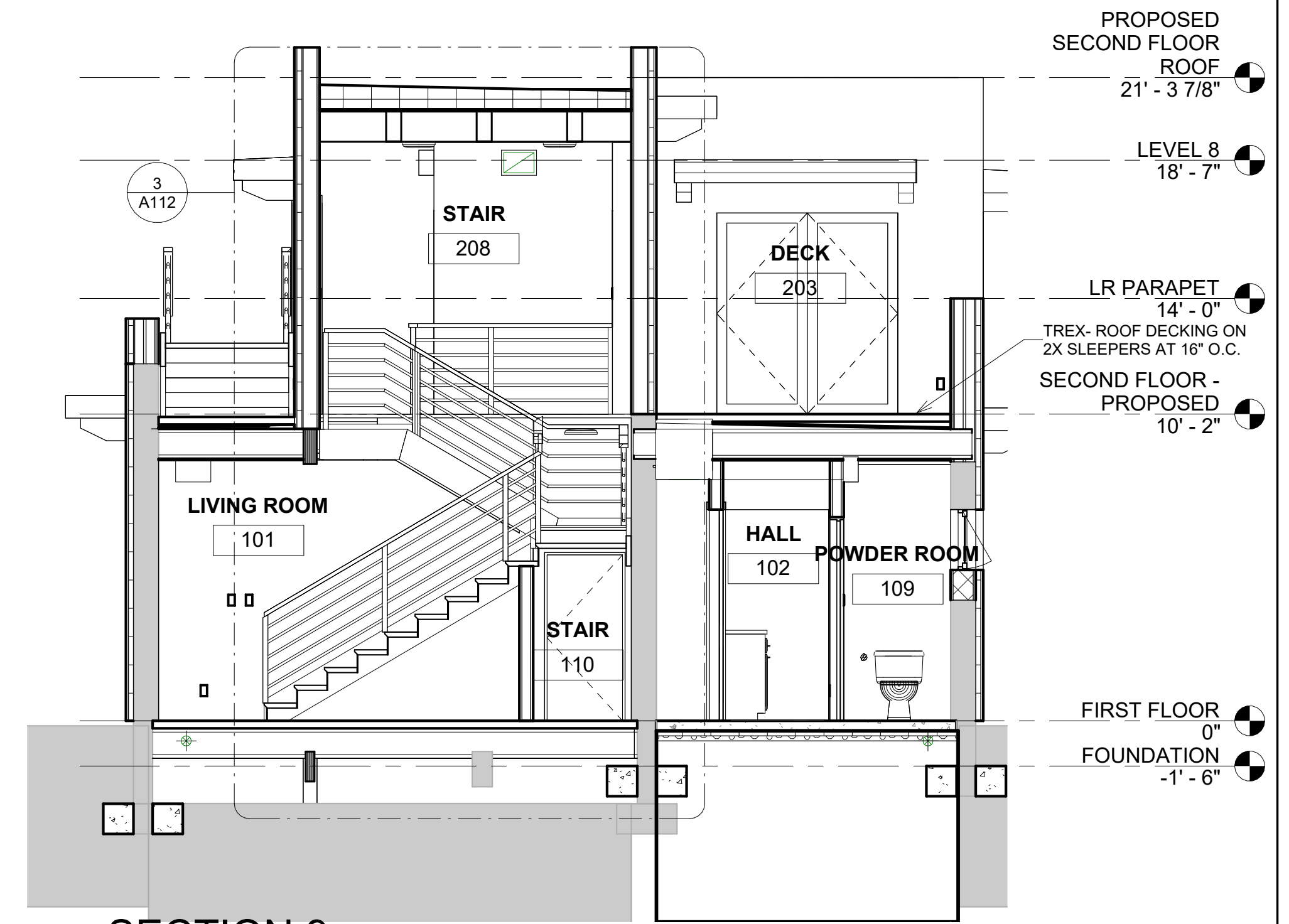
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1 SECTION 5
1/4" = 1'-0"



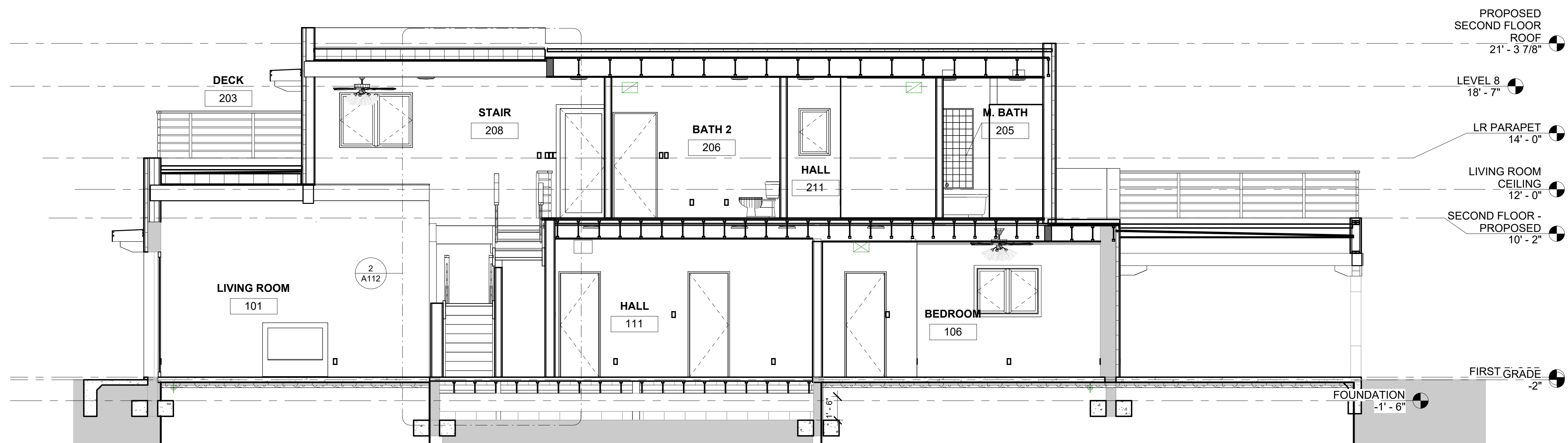
2 SECTION 6
1/4" = 1'-0"



4 SECTION 9
1/4" = 1'-0"

NOTE

FOR ALL EXISTING MASONRY WALLS - VERIFY THE EXISTENCE OF MASONRY WALL FOUNDATION. PROVIDE 1'X1' FTG ON EACH SIDE OF THE WALL IF NONE EXIST. PROVIDE UNDER BASE PRICE AS A DEDUCTIVE ALTERNATE.



3 SECTION 7
1/4" = 1'-0"

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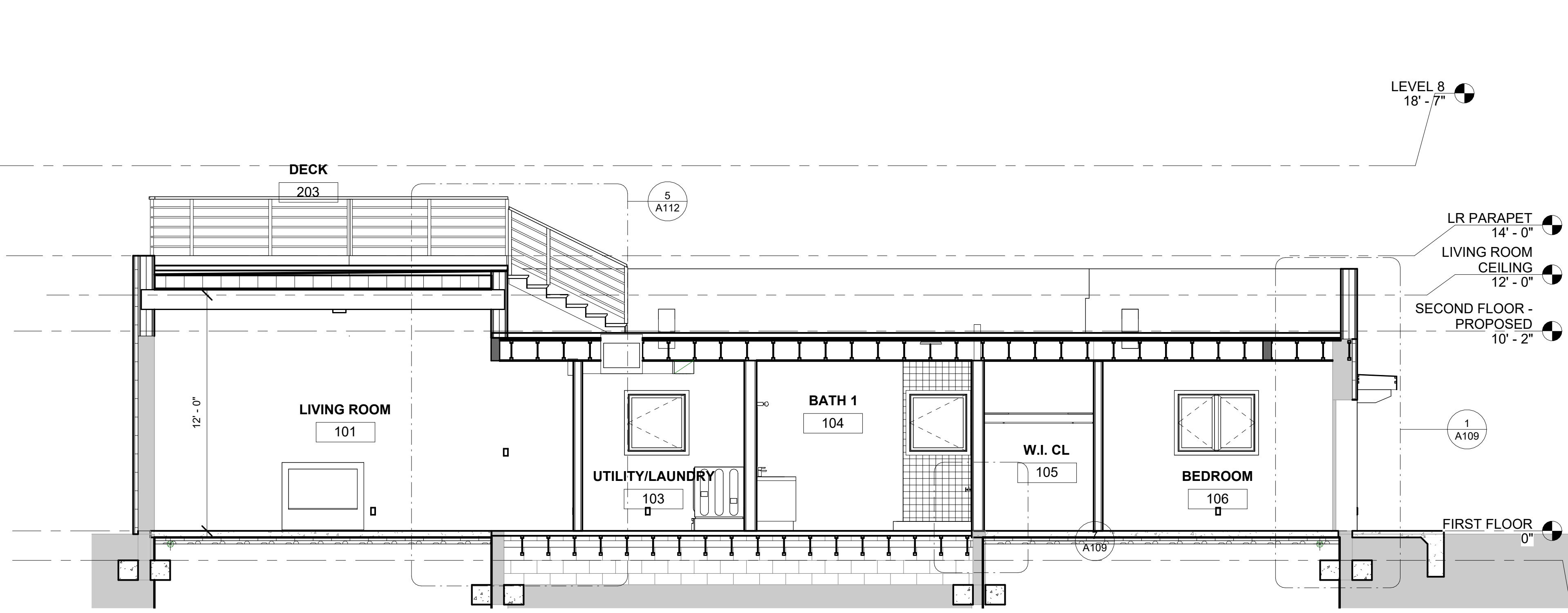
PROJECT TITLE:
FALVEY GARAGE REMODEL

ADDRESS:
539 ONATE PLACE, SANTA FE, NM

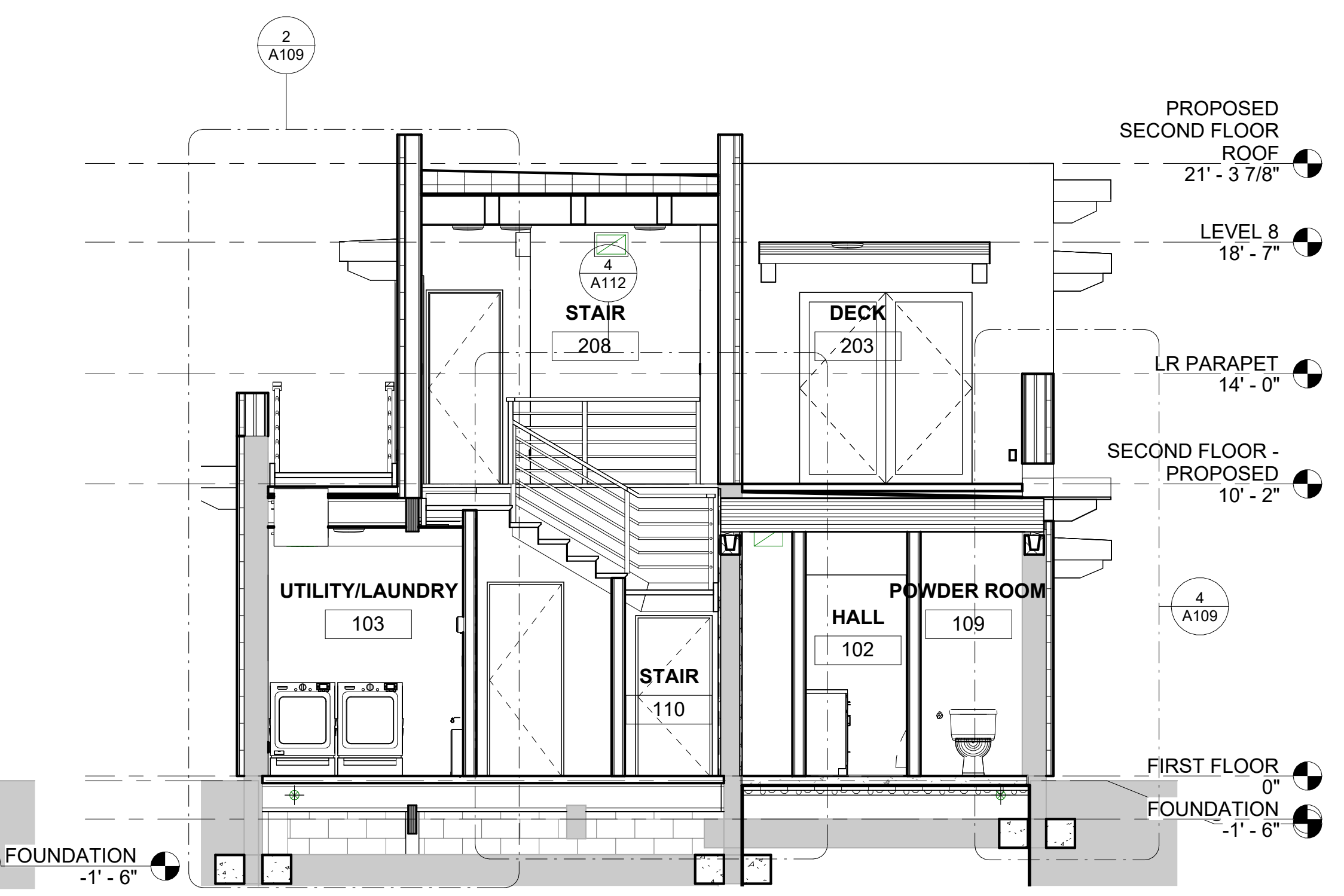
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Revision date:	

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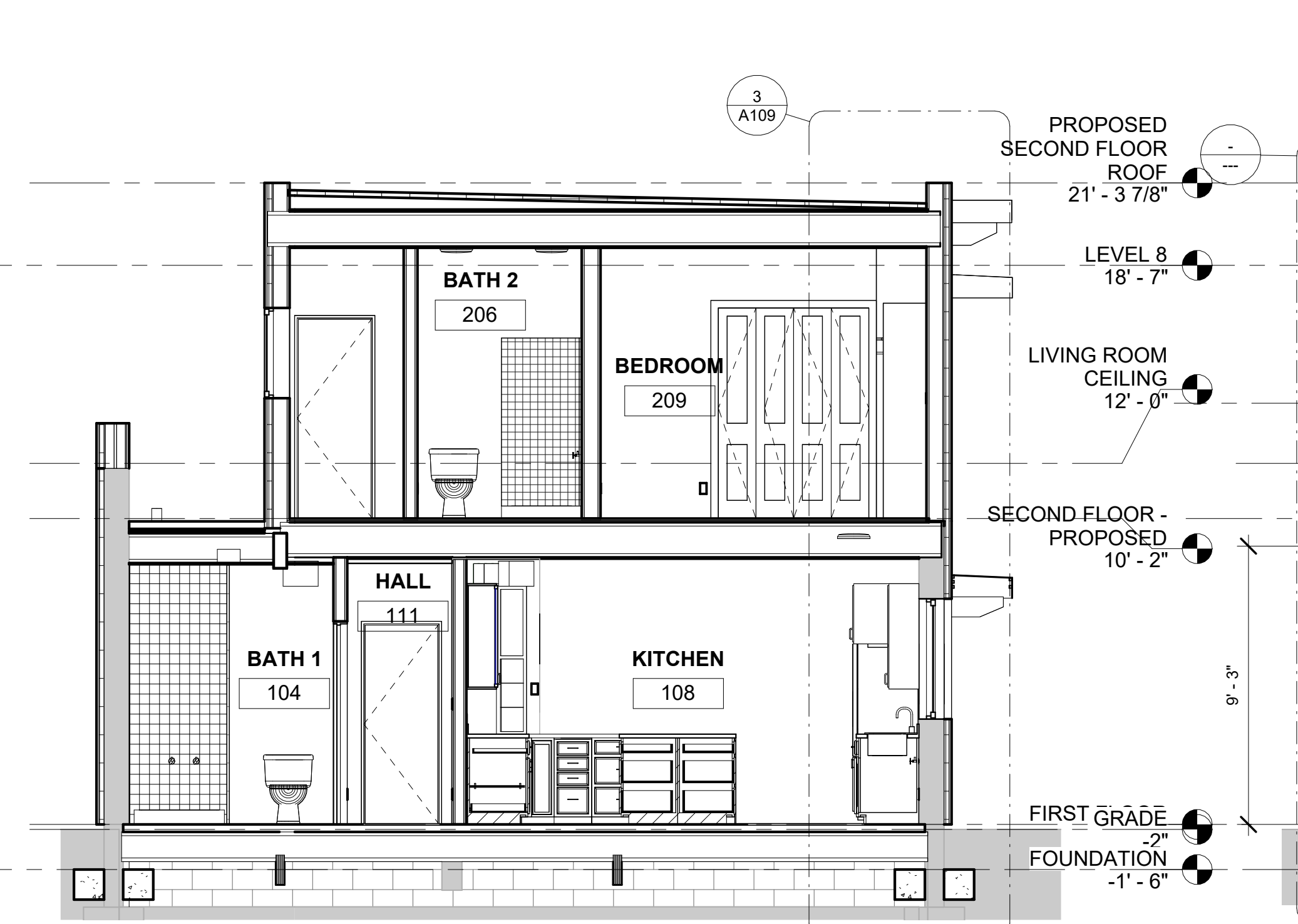
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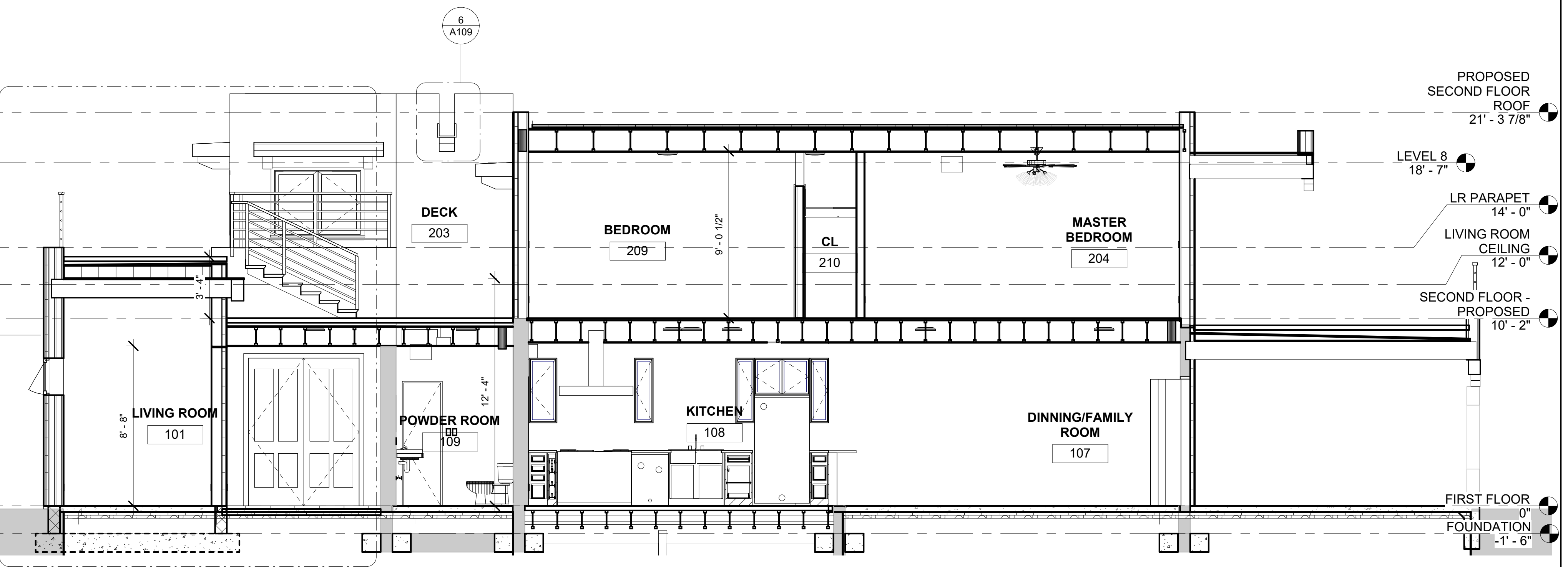
2 SECTION 4
1/4" = 1'-0"

NOTE

FOR ALL EXISTING MASONRY WALLS - VERIFY THE EXISTENCE OF MASONRY WALL FOUNDATION. PROVIDE 1'X1' FTG ON EACH SIDE OF THE WALL IF NONE EXIST. PROVIDE UNDER BASE PRICE AS A DEDUCTIVE ALTERNATE.



3 SECTION 2
1/4" = 1'-0"



4 SECTION 1
1/4" = 1'-0"

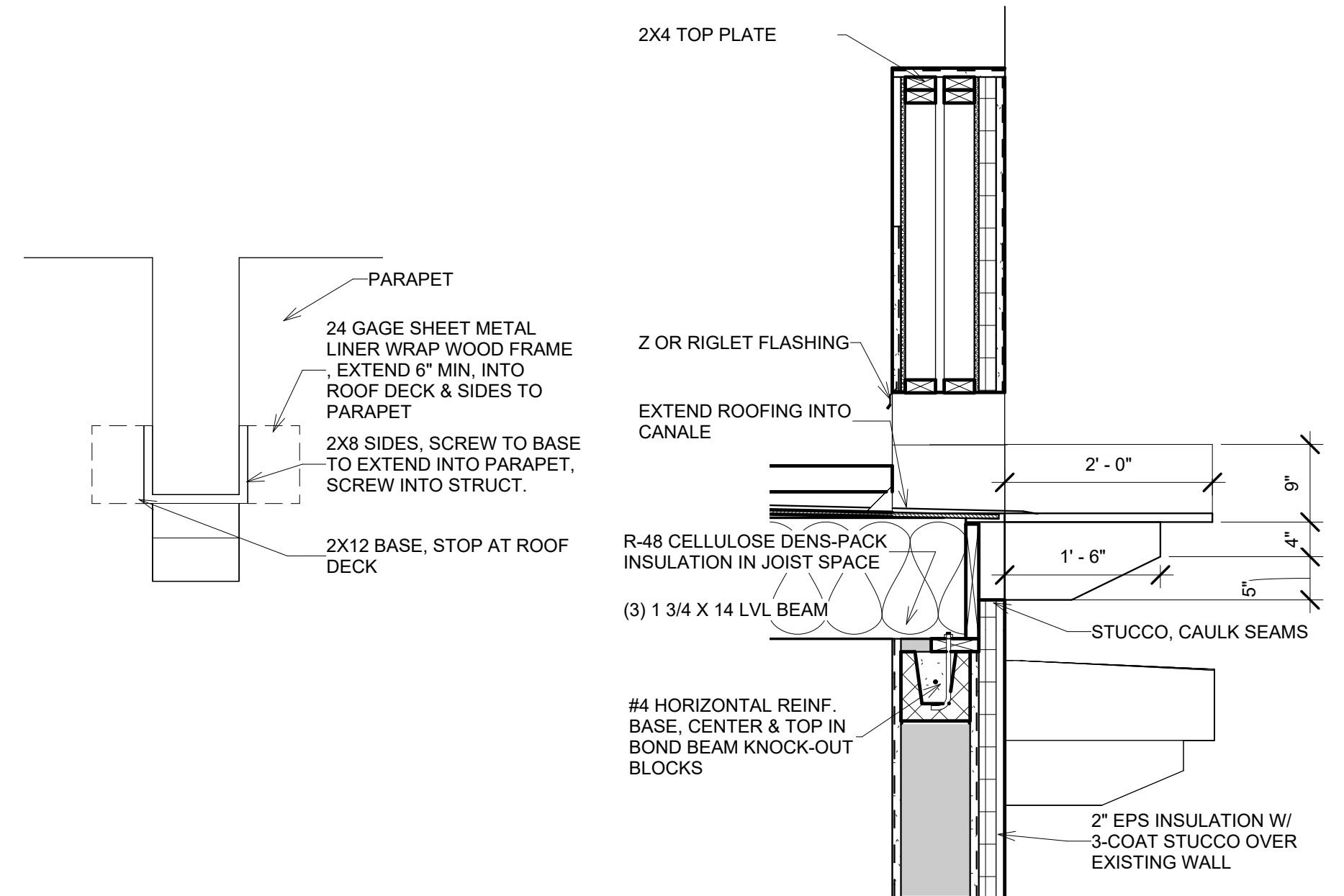
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PROJECT: **FALVEY GARAGE REMODEL**
ADDRESS: **539 ONATE PLACE, SANTA FE, NM**

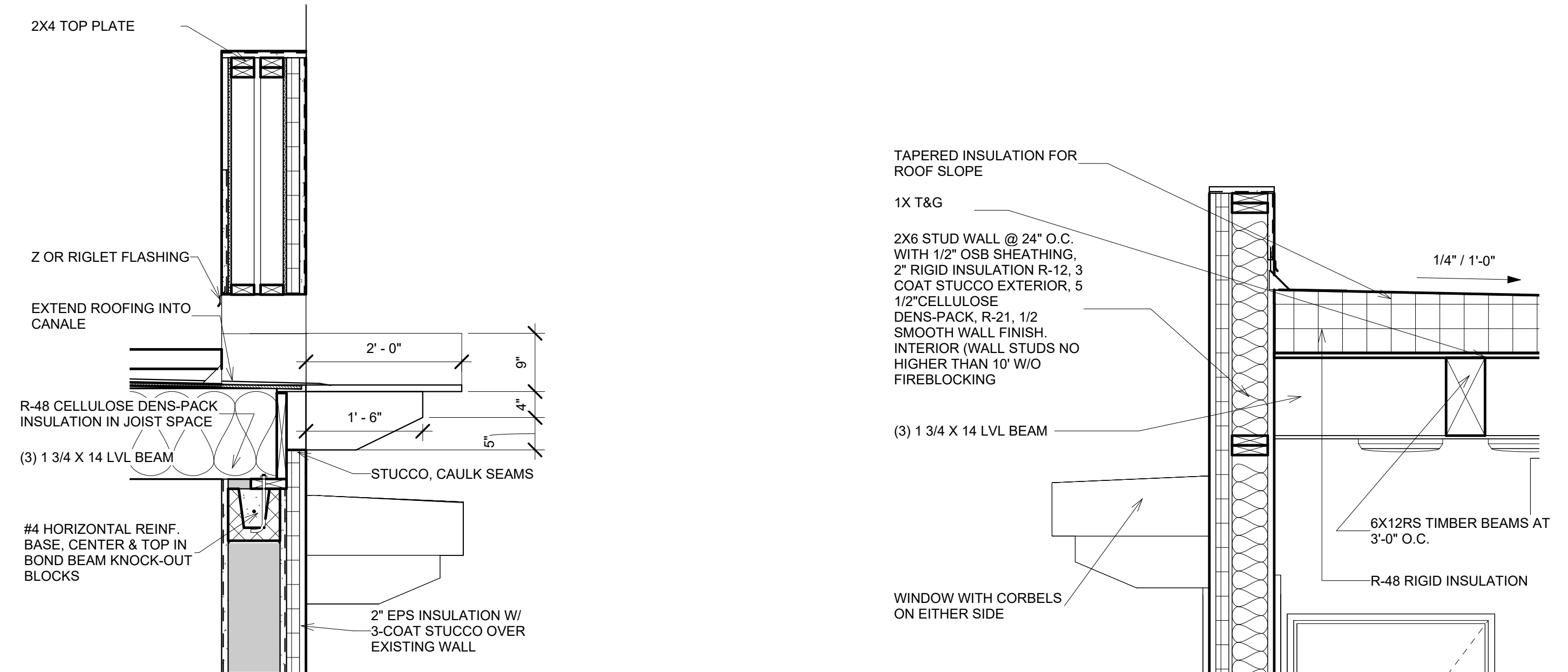
SHEET TITLE:
SECTIONS

DATE	
Issue Date	
SCALE	1/4" = 1'-0"
DRAWN BY:	ANOU
CHECKED BY:	Checker
Revisions:	
Revision date:	

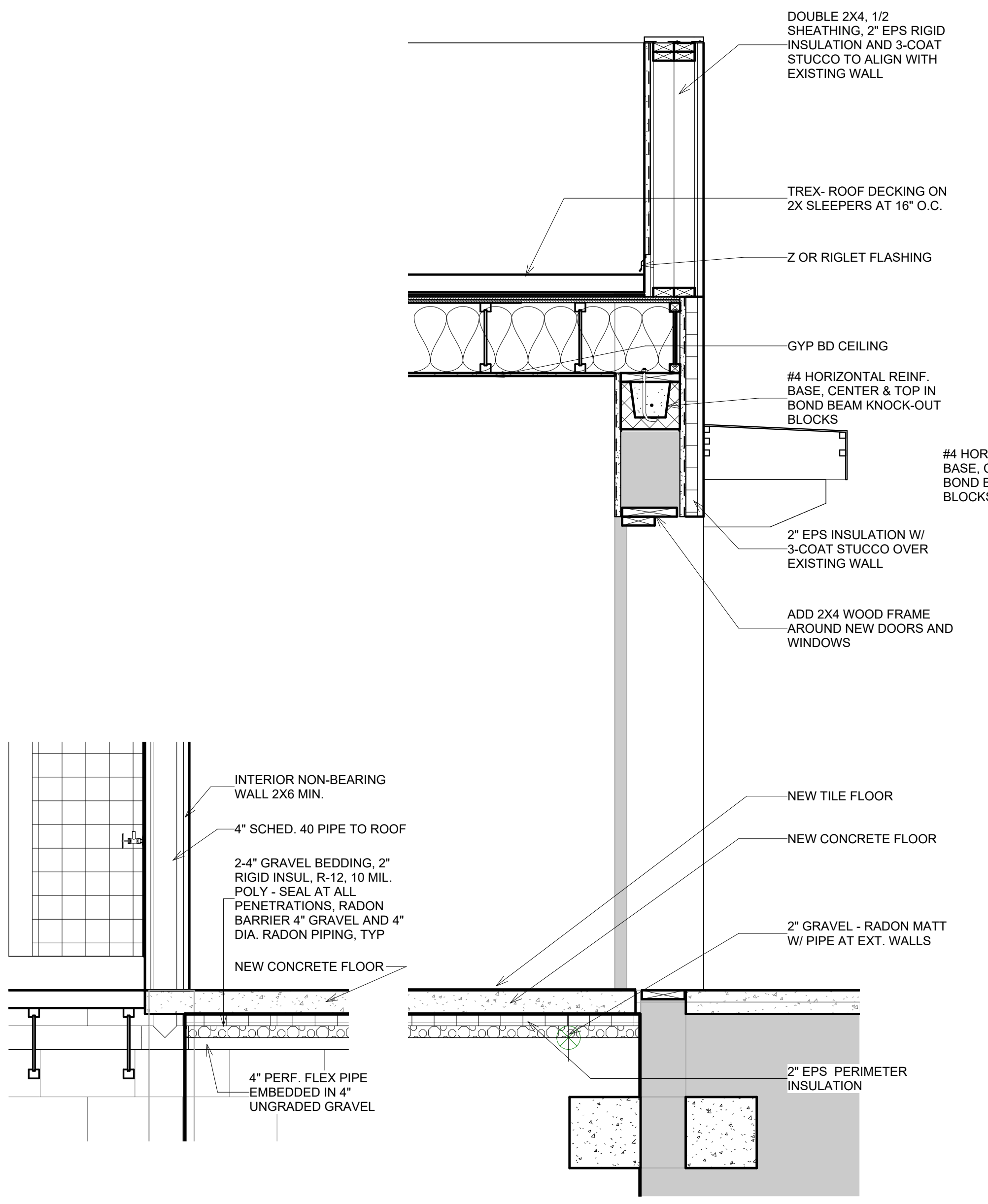
A108



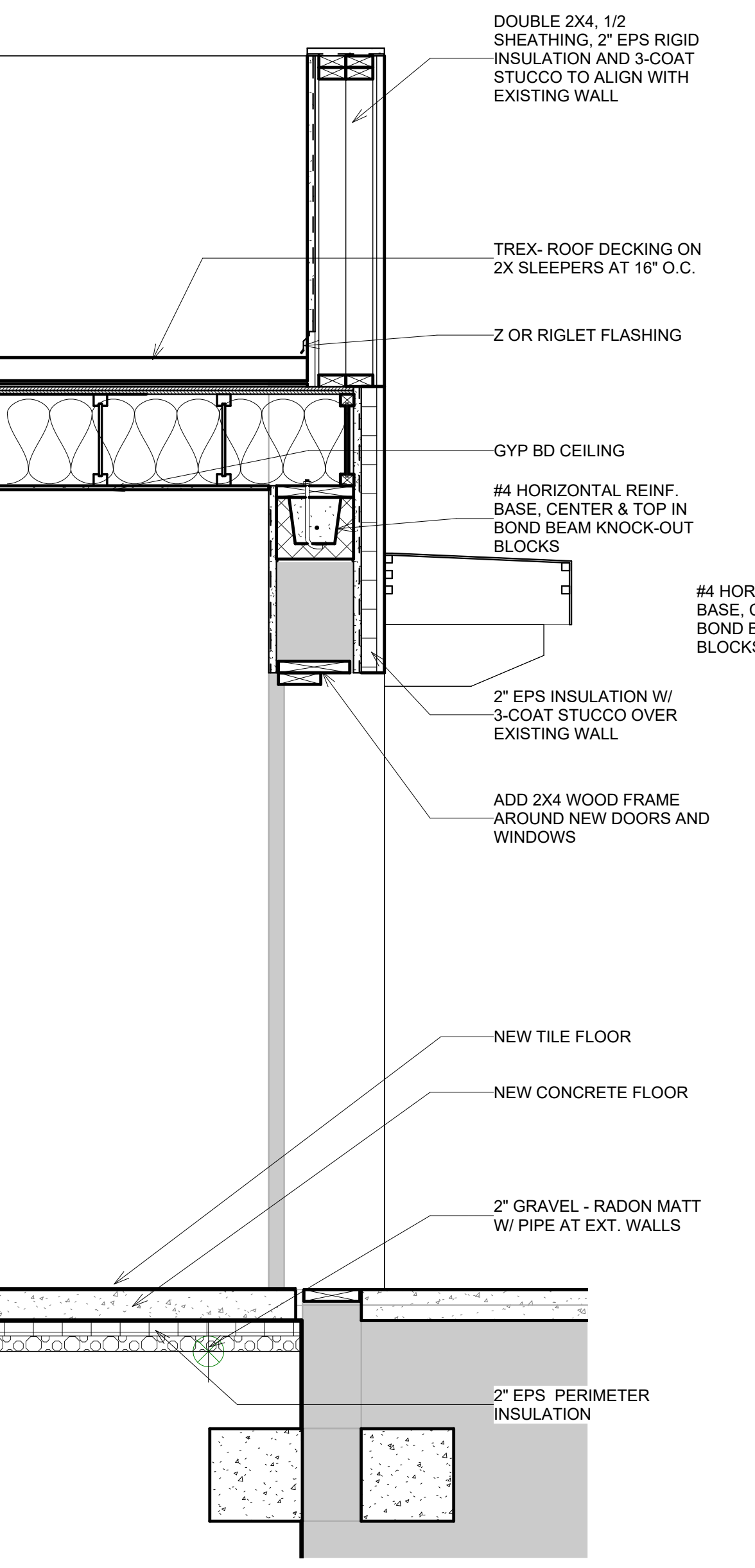
6 CANALE ELEV DETAIL
3/4" = 1'-0"



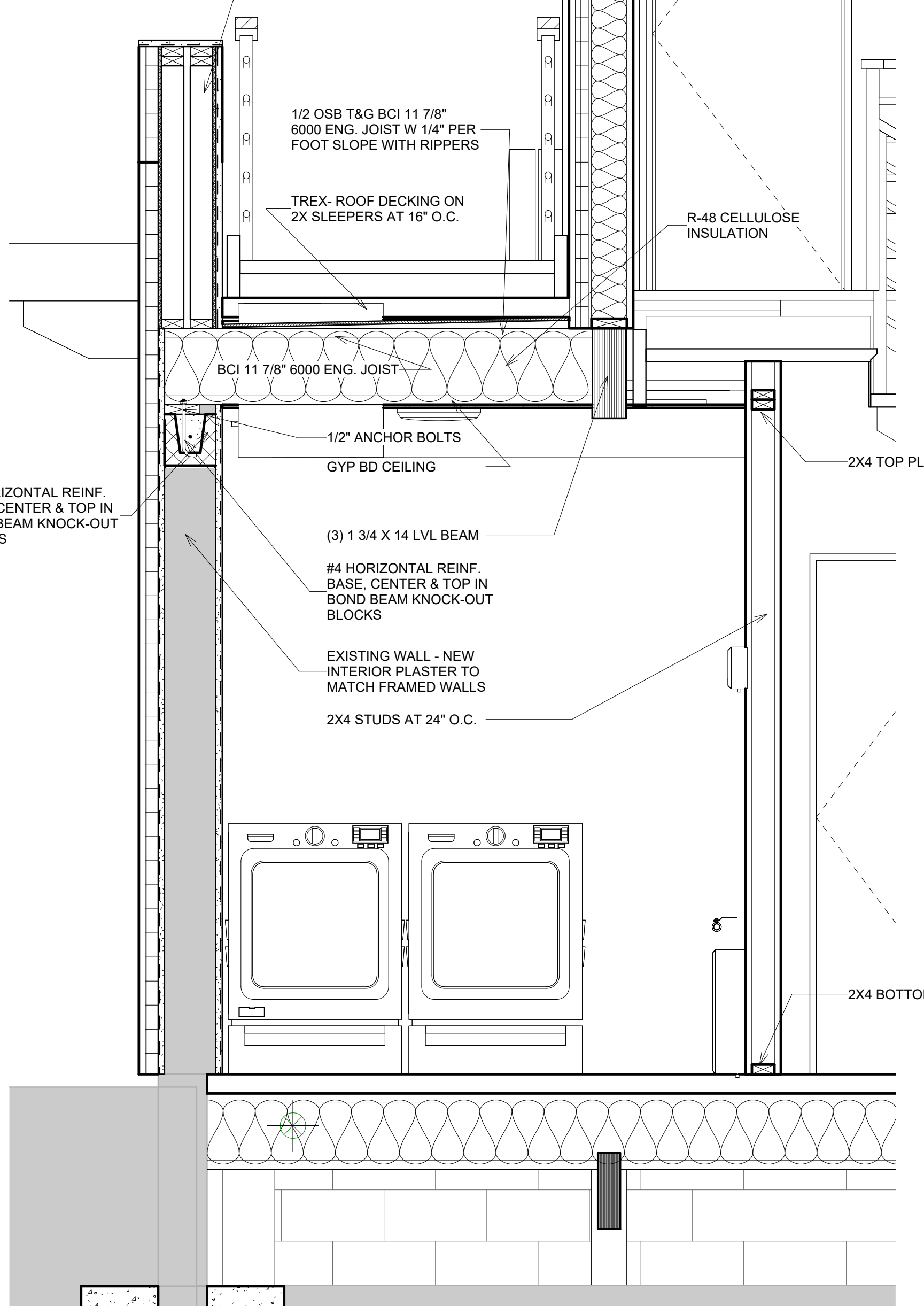
5 CANALE DETAIL
3/4" = 1'-0"



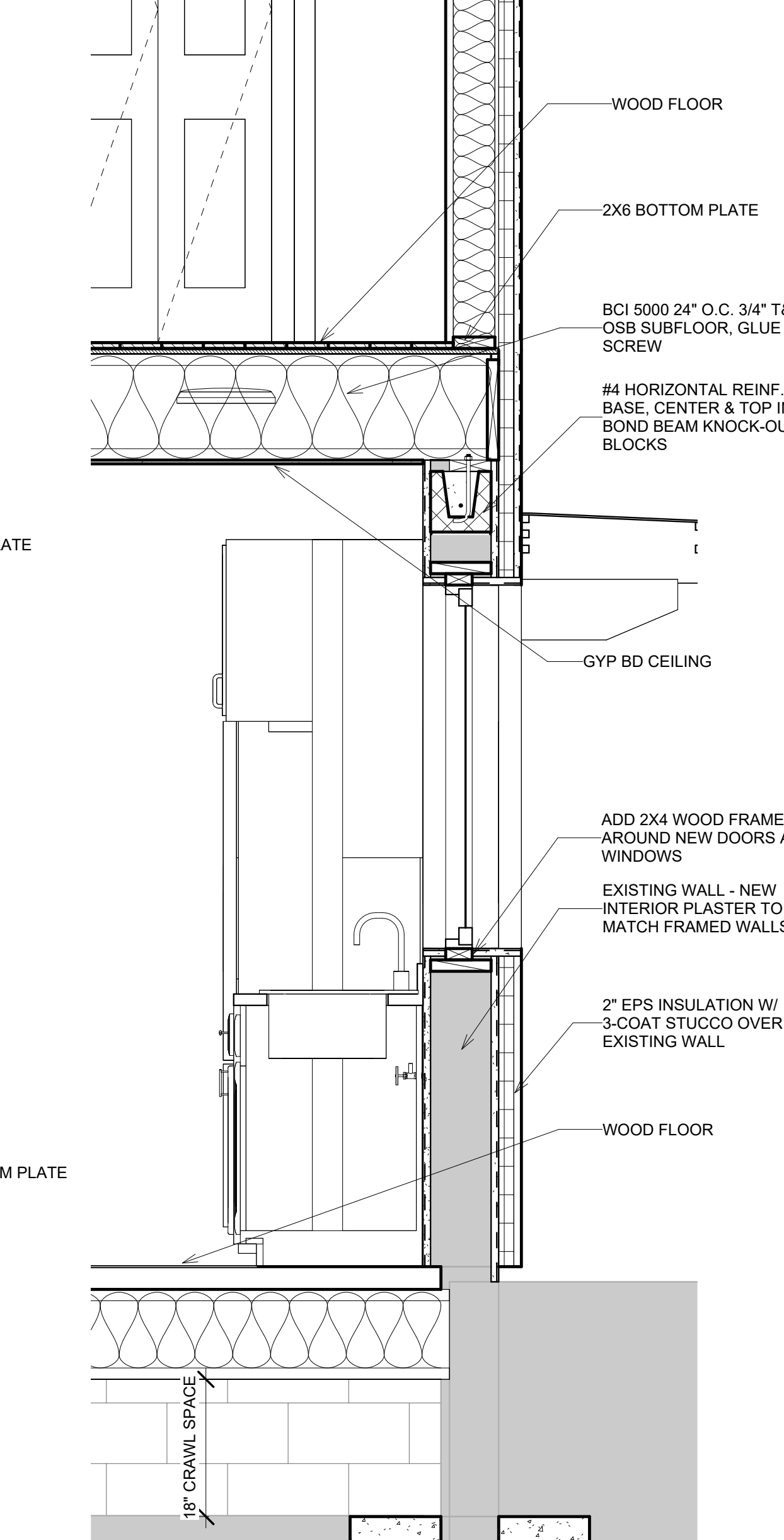
7 RADON PIPING DETAIL
3/4" = 1'-0"



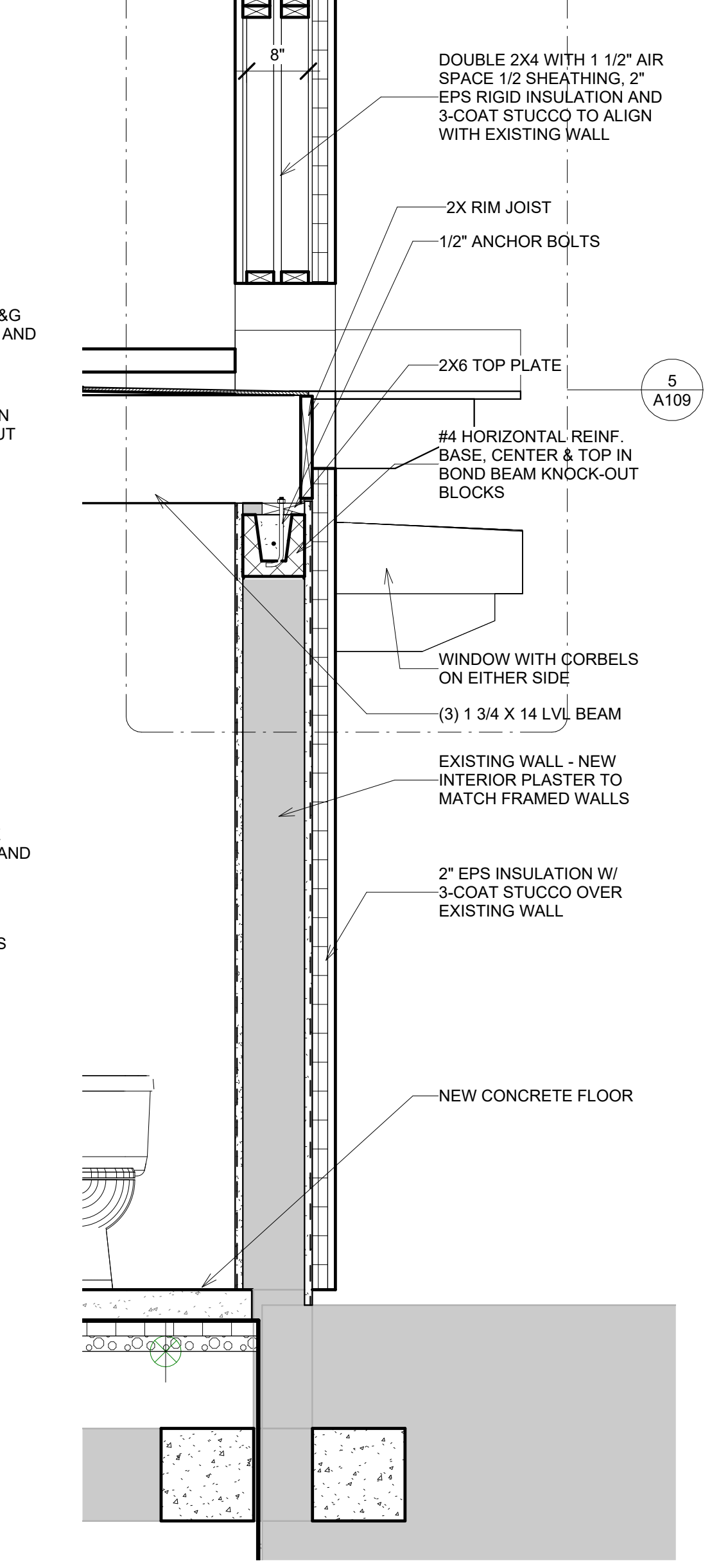
1 SECTION 3 - WALL SECTION DETAIL
3/4" = 1'-0"



2 SECTION 4 - WALL SECTION DETAIL
3/4" = 1'-0"



3 SECTION 2 - WALL SECTION
3/4" = 1'-0"



4 SECTION 4 - WALL SECTION
3/4" = 1'-0"

NOTE

FOR ALL EXISTING MASONRY WALLS - VERIFY THE EXISTENCE OF MASONRY WALL FOUNDATION. PROVIDE 1'X1' FTG ON EACH SIDE OF THE WALL IF NONE EXIST. PROVIDE UNDER BASE PRICE AS A DEDUCTIVE ALTERNATE.

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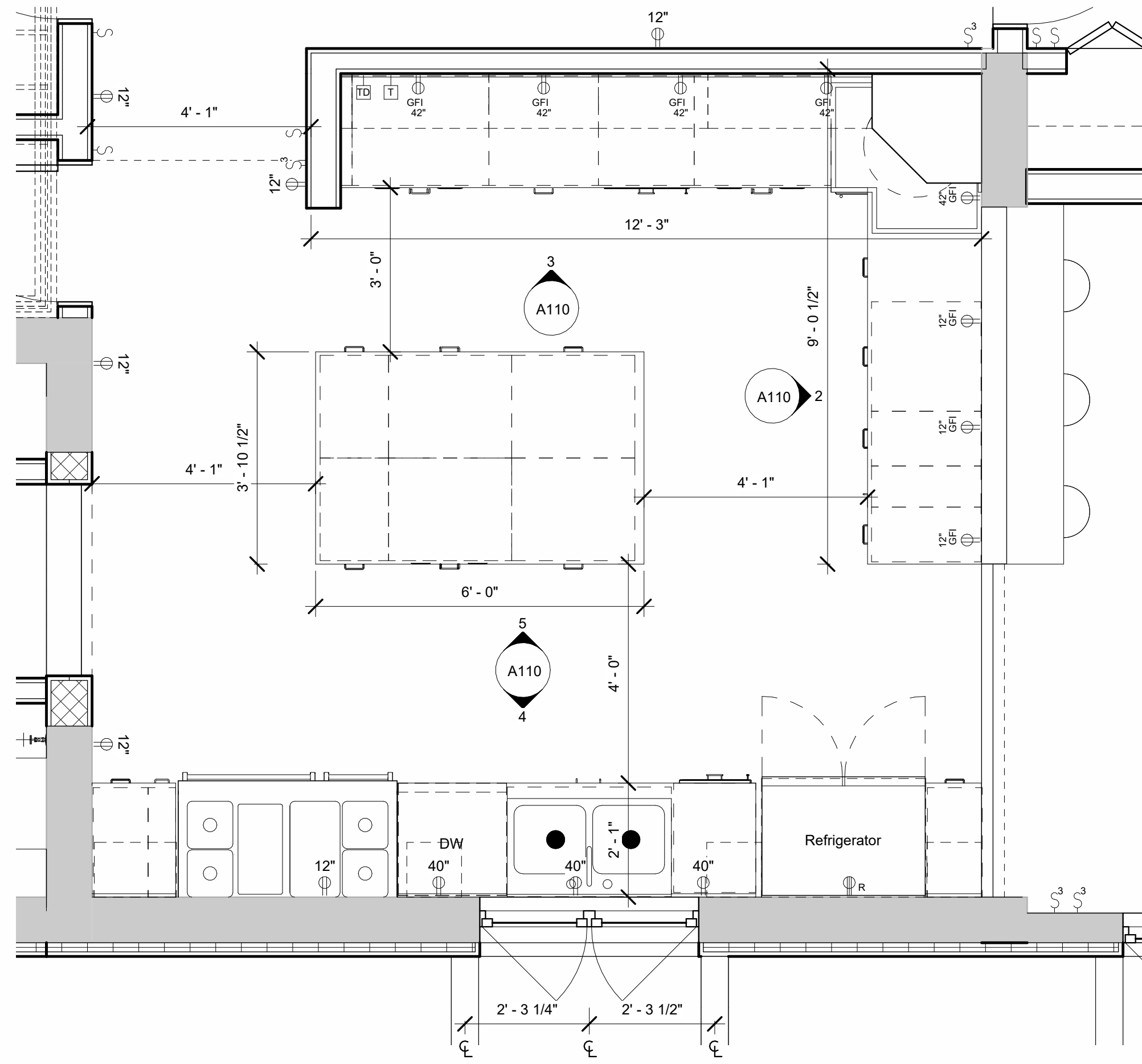
FALVEY GARAGE REMODEL
ADDRESS: 539 ONATE PLACE, SANTA FE, NM

SHEET TITLE:
WALL SECTIONS

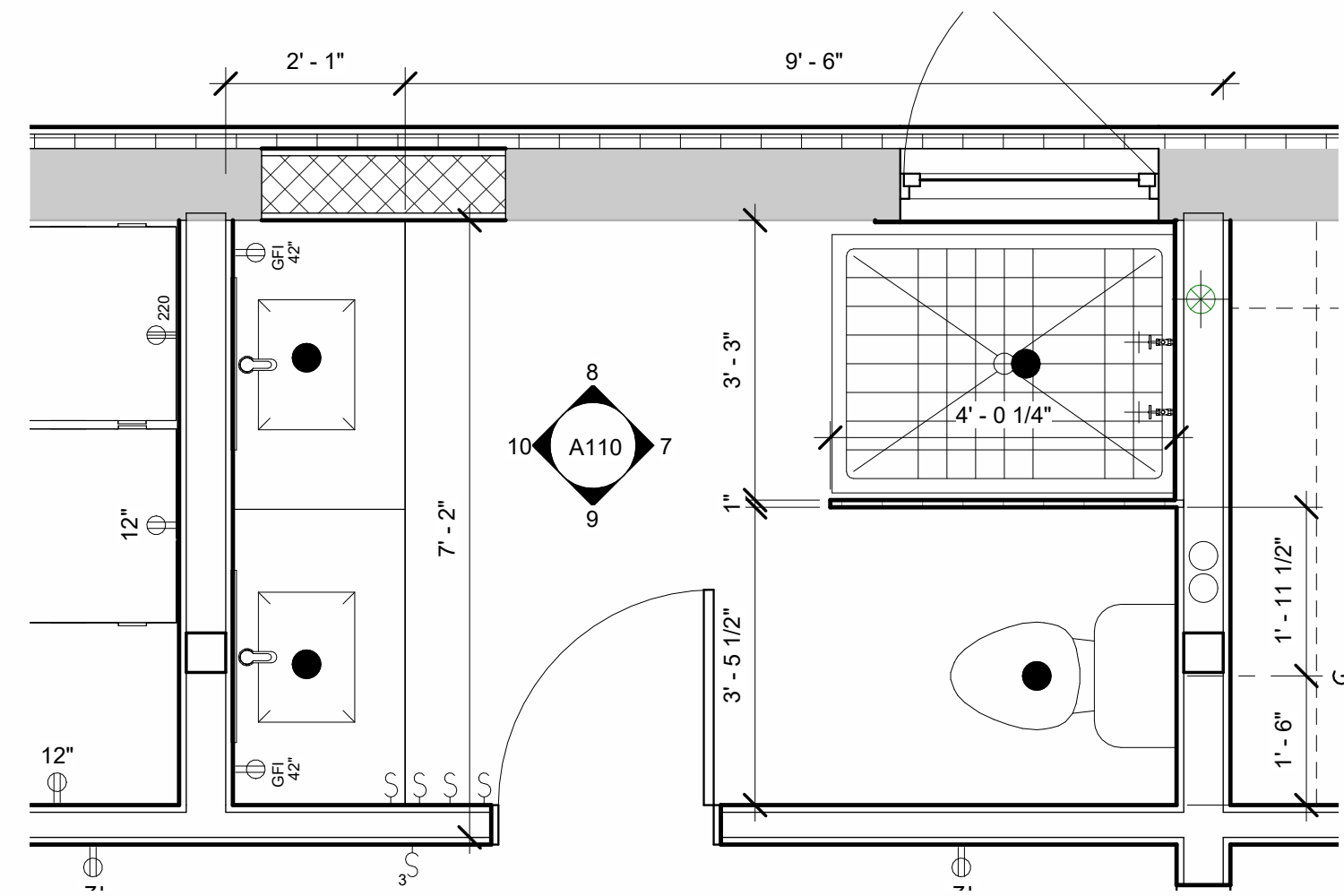
DATE	Issue Date
SCALE	As indicated
DRAWN BY:	ANOU
CHECKED BY:	Checker
Revisions:	
Revision date:	

A109

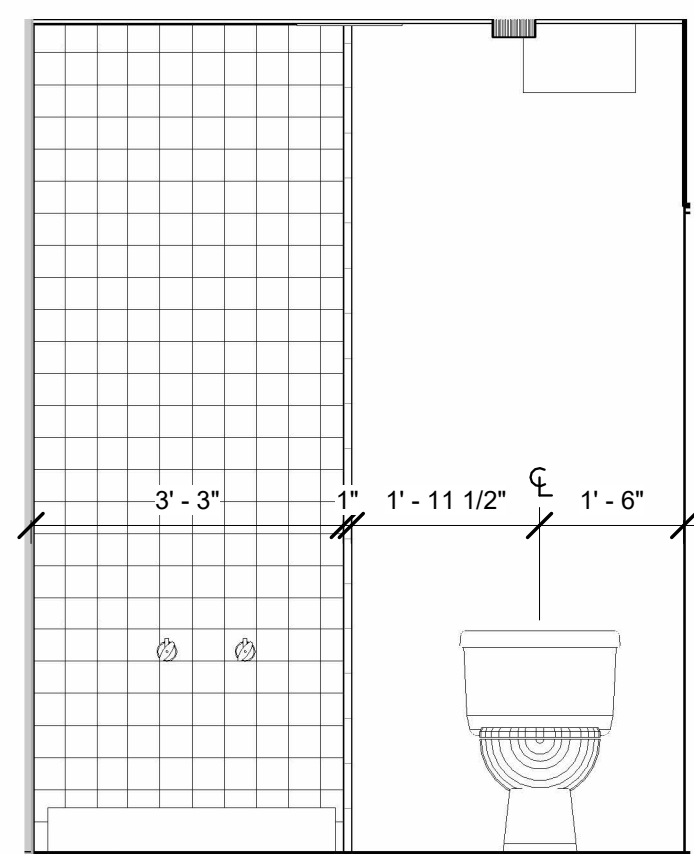
9/28/2023 11:52:21 AM



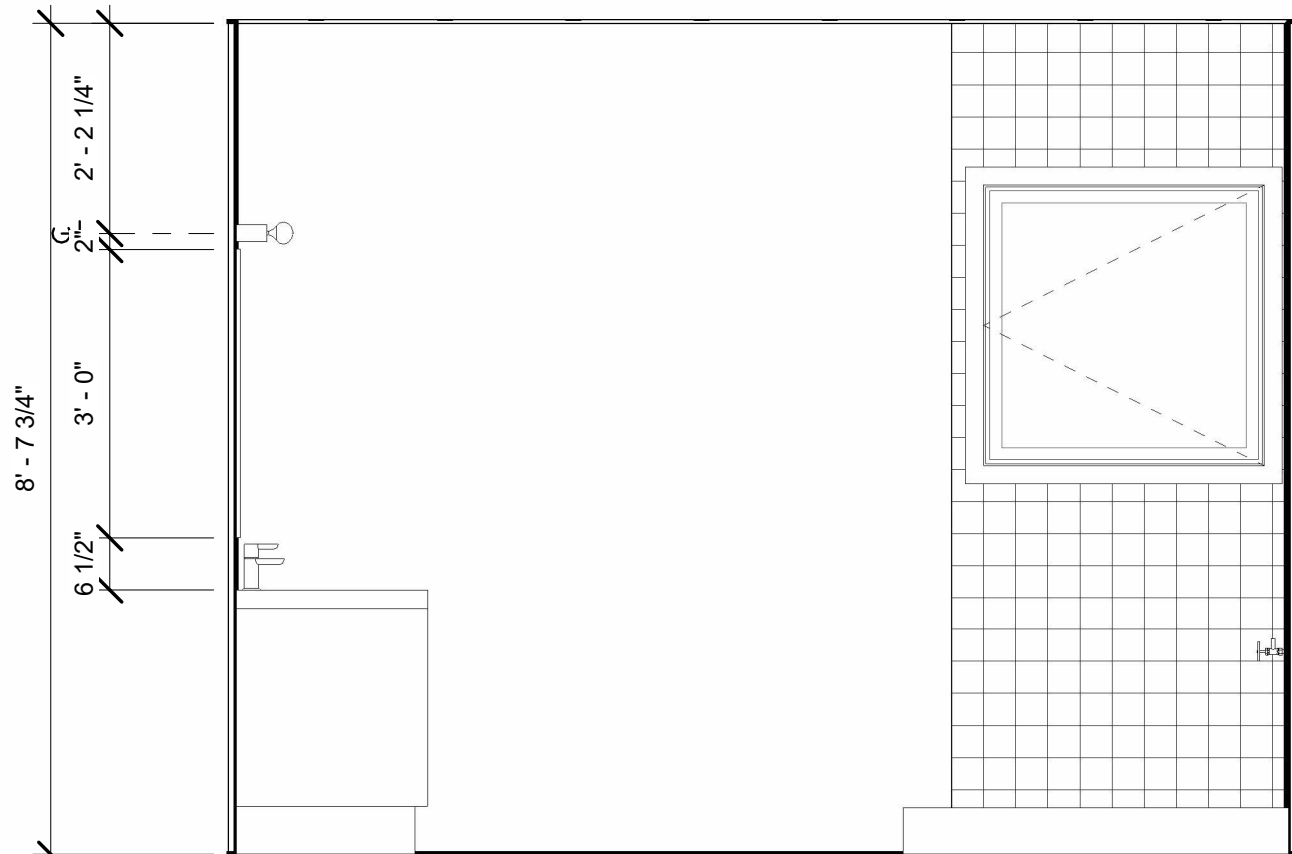
1 ENLARGED KITCHEN PLAN
1/2" = 1'-0"



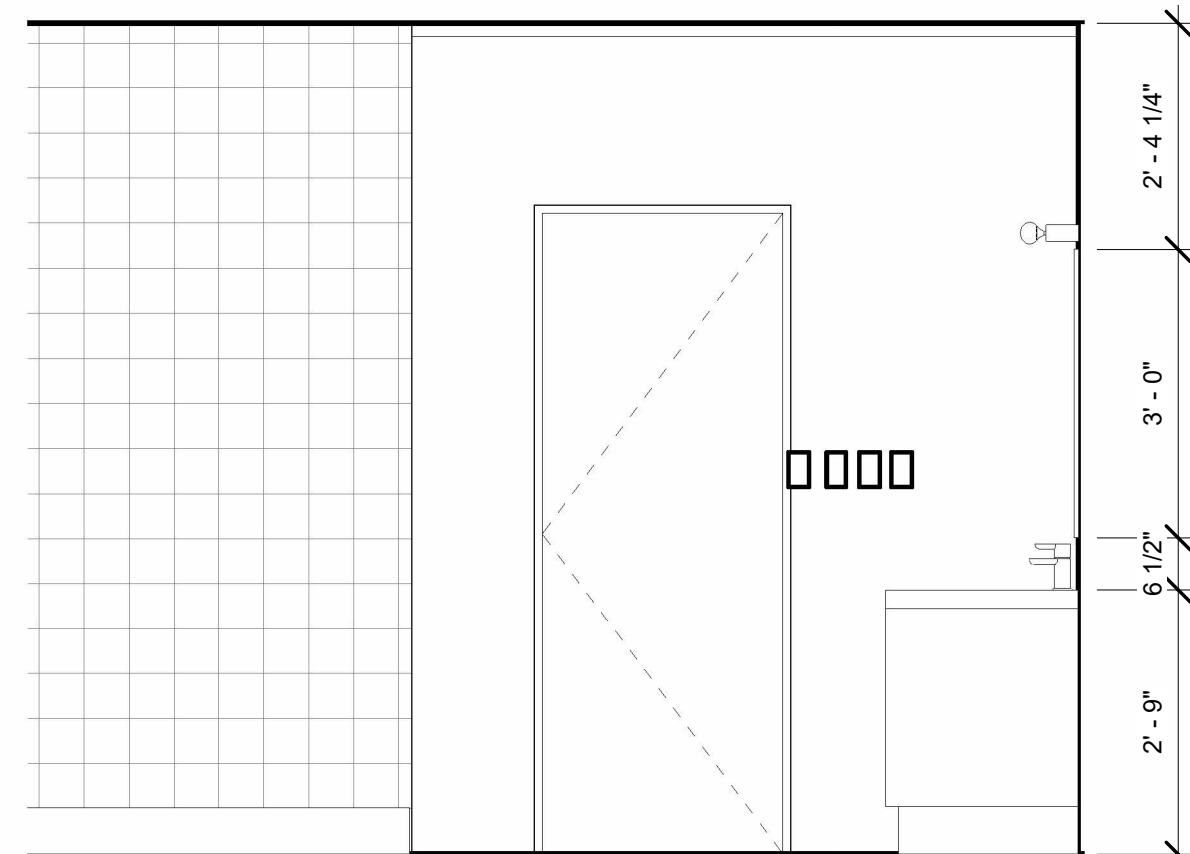
6 BATH 1 NORTH
1/2" = 1'-0"



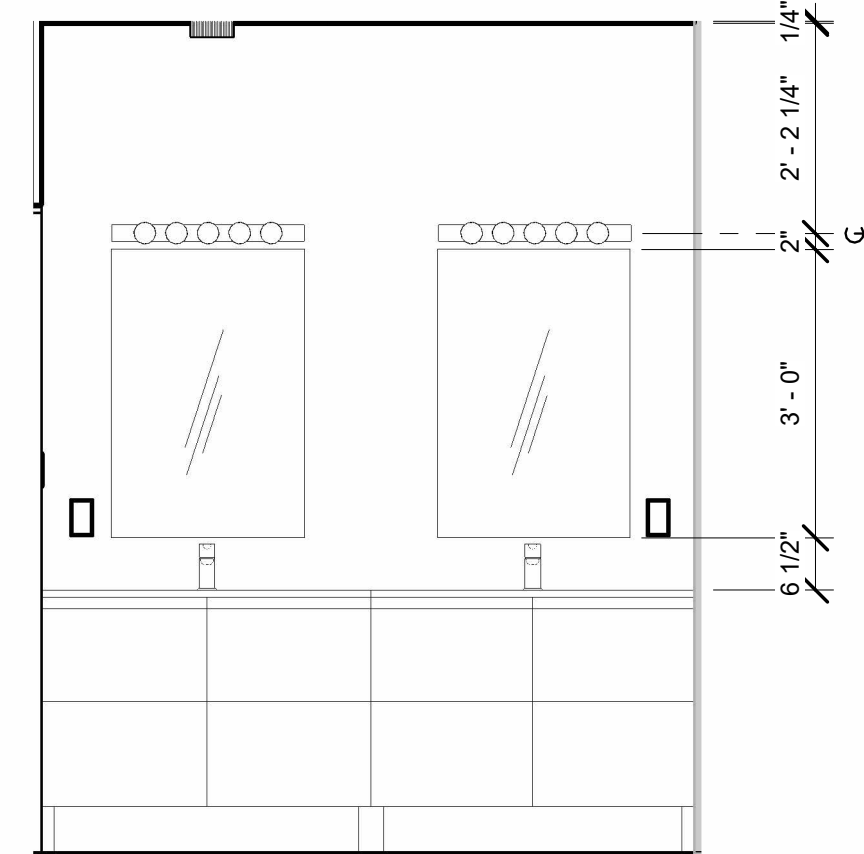
7 BATH 1 EAST ELEVATION
1/2" = 1'-0"



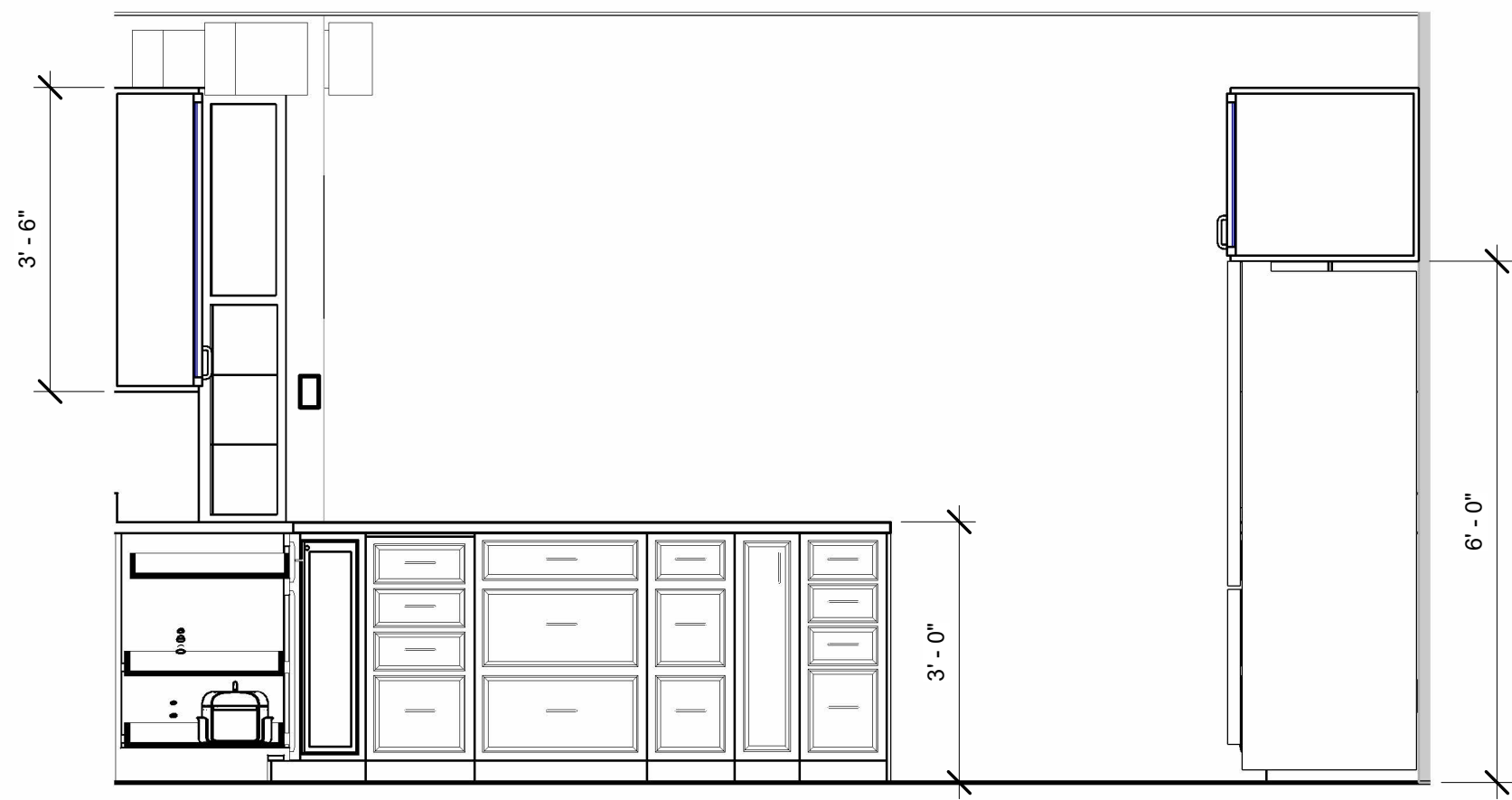
8 BATH 1 NORTH ELEVATION
1/2" = 1'-0"



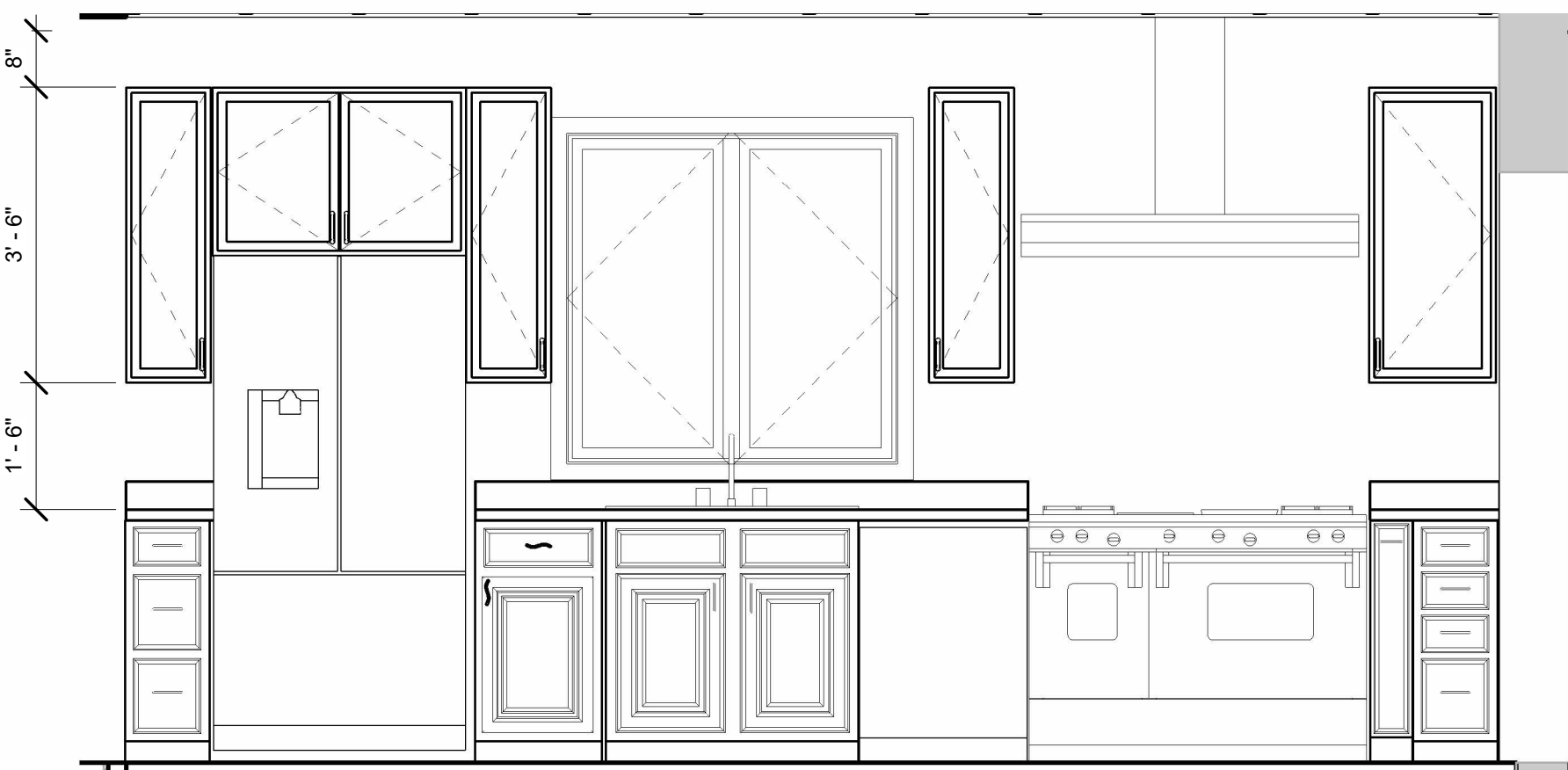
9 BATH 1 SOUTH ELEVATION
1/2" = 1'-0"



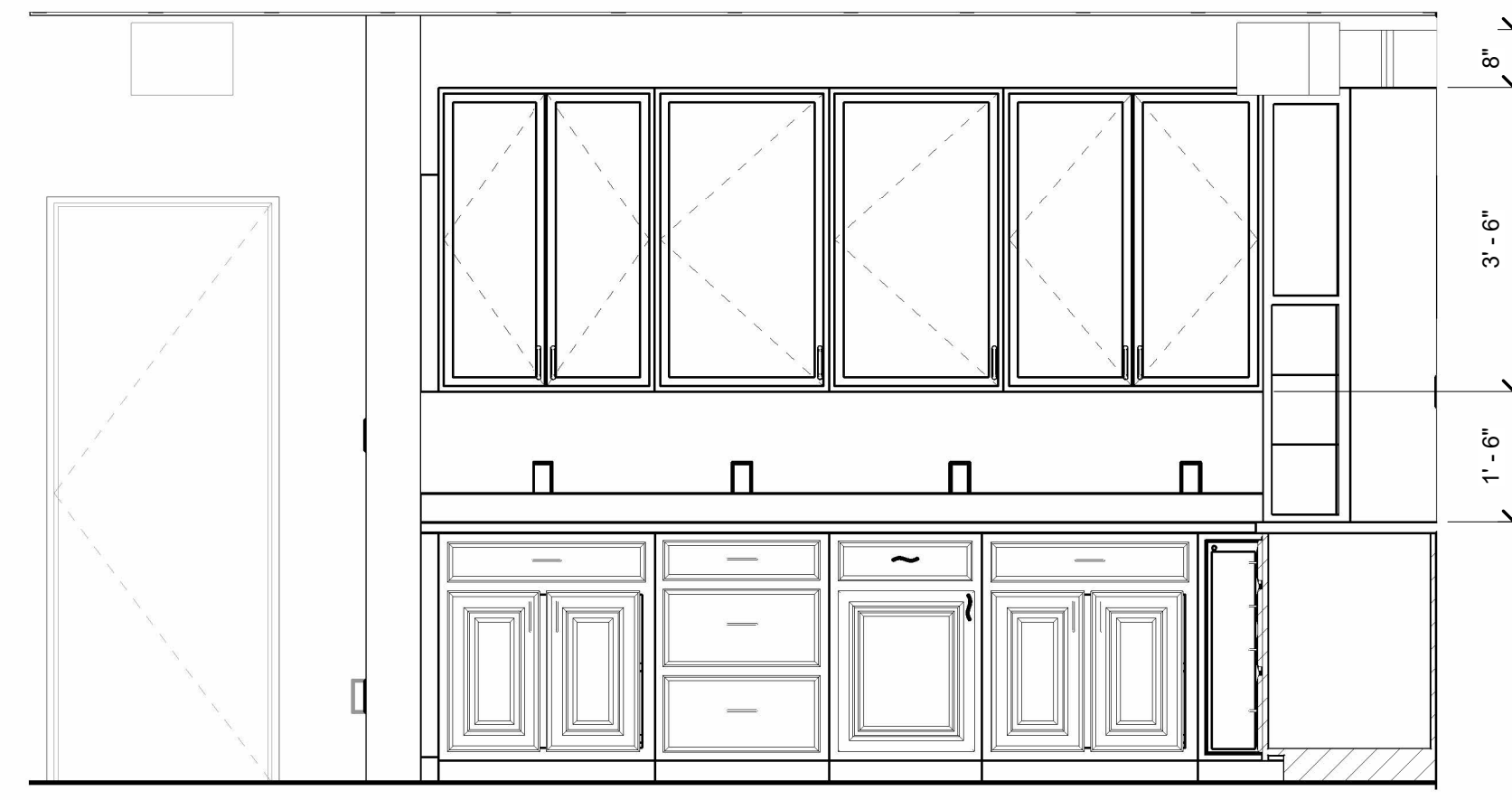
10 BATH 1 WEST ELEVATION
1/2" = 1'-0"



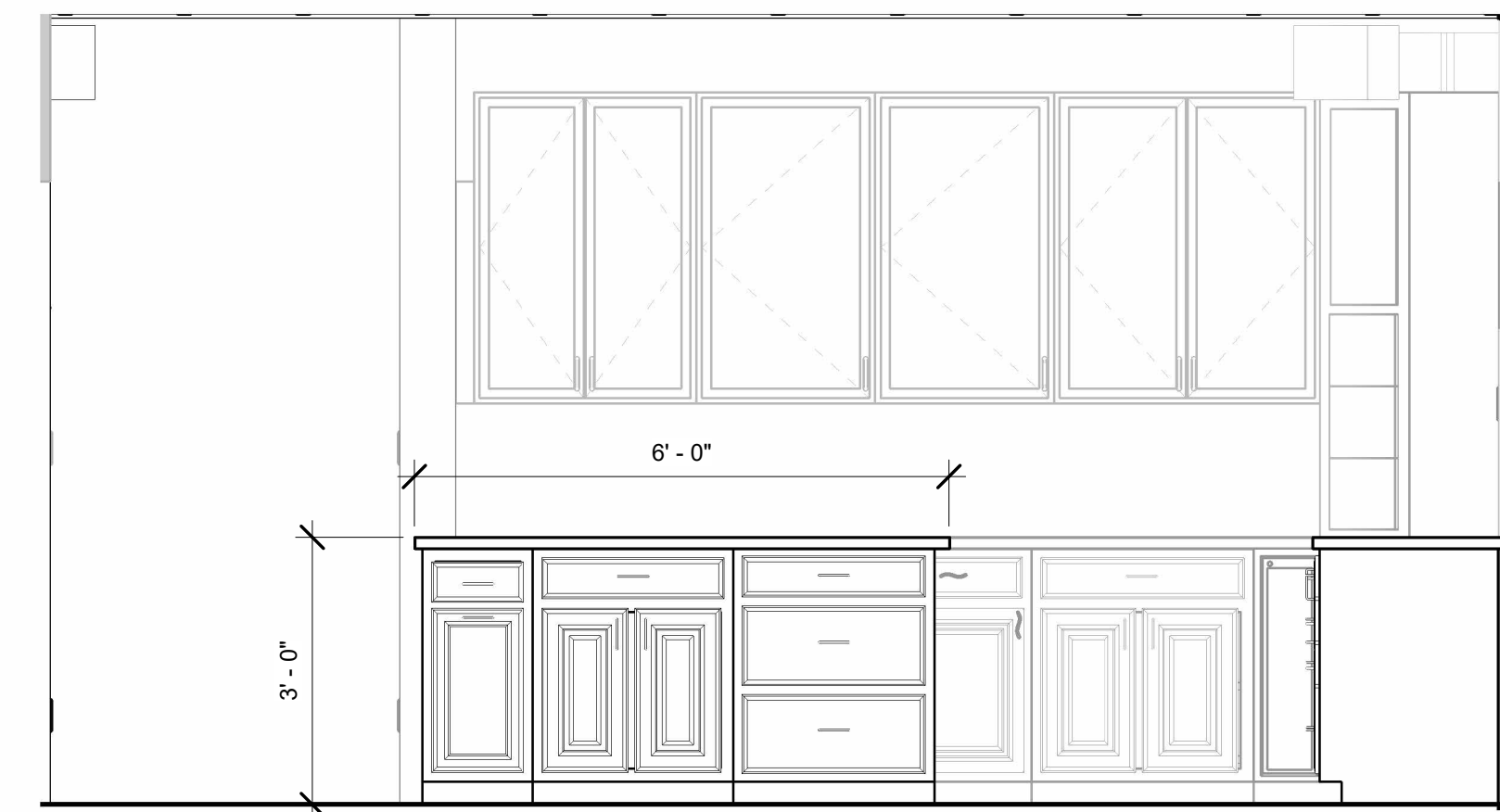
2 KITCHEN EAST ELEVATION
1/2" = 1'-0"



4 KITCHEN SOUTH ELEVATION
1/2" = 1'-0"



3 KITCHEN NORTH ELEVATION
1/2" = 1'-0"



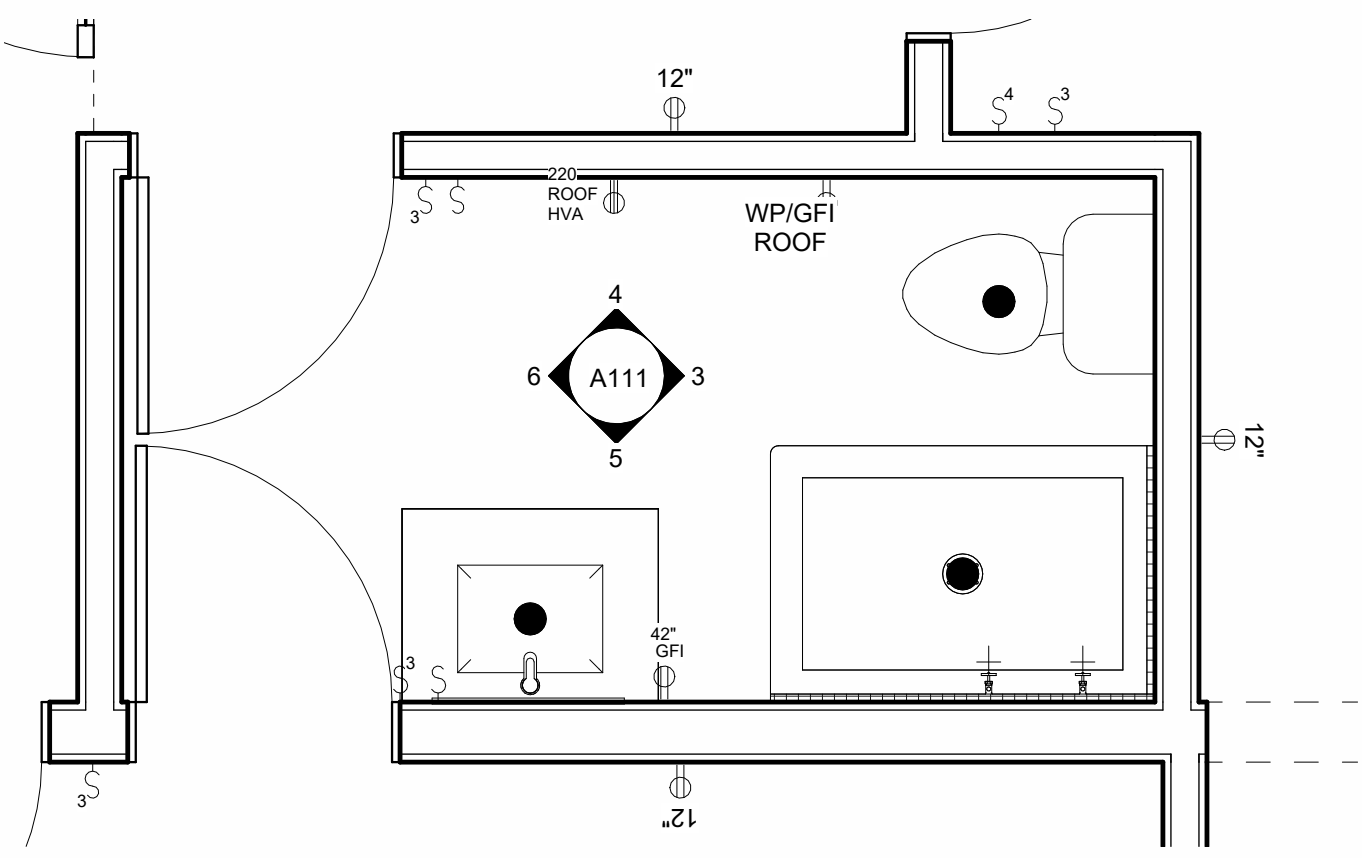
5 ISLAND NORTH ELEVATION
1/2" = 1'-0"

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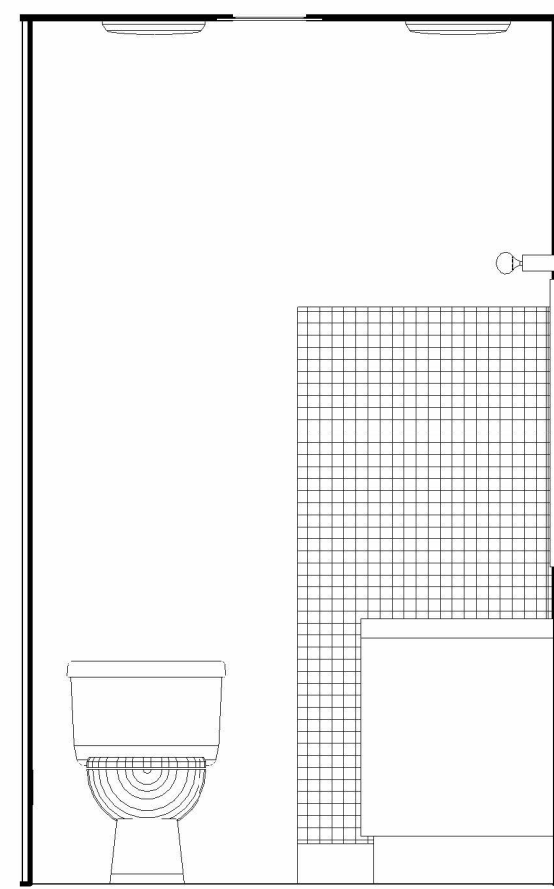
PROJECT: **FALVEY GARAGE REMODEL**
ADDRESS: **539 ONATE PLACE, SANTA FE, NM**
SHEET TITLE: **INTERIOR ELEVATIONS**

DATE
Issue Date
SCALE 1/2" = 1'-0"
DRAWN BY: ANOU
CHECKED BY: Checker
Revisions:
Revision date:

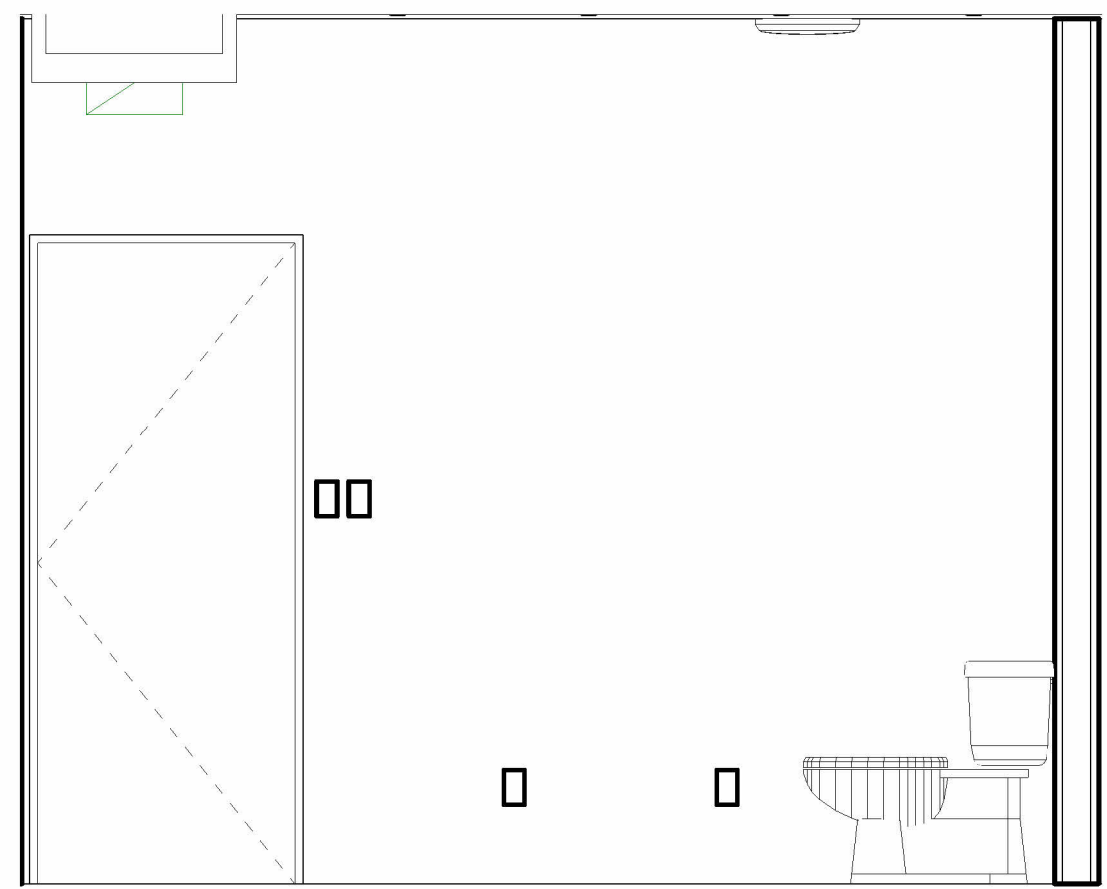
A110
9/28/2023 11:52:25 AM



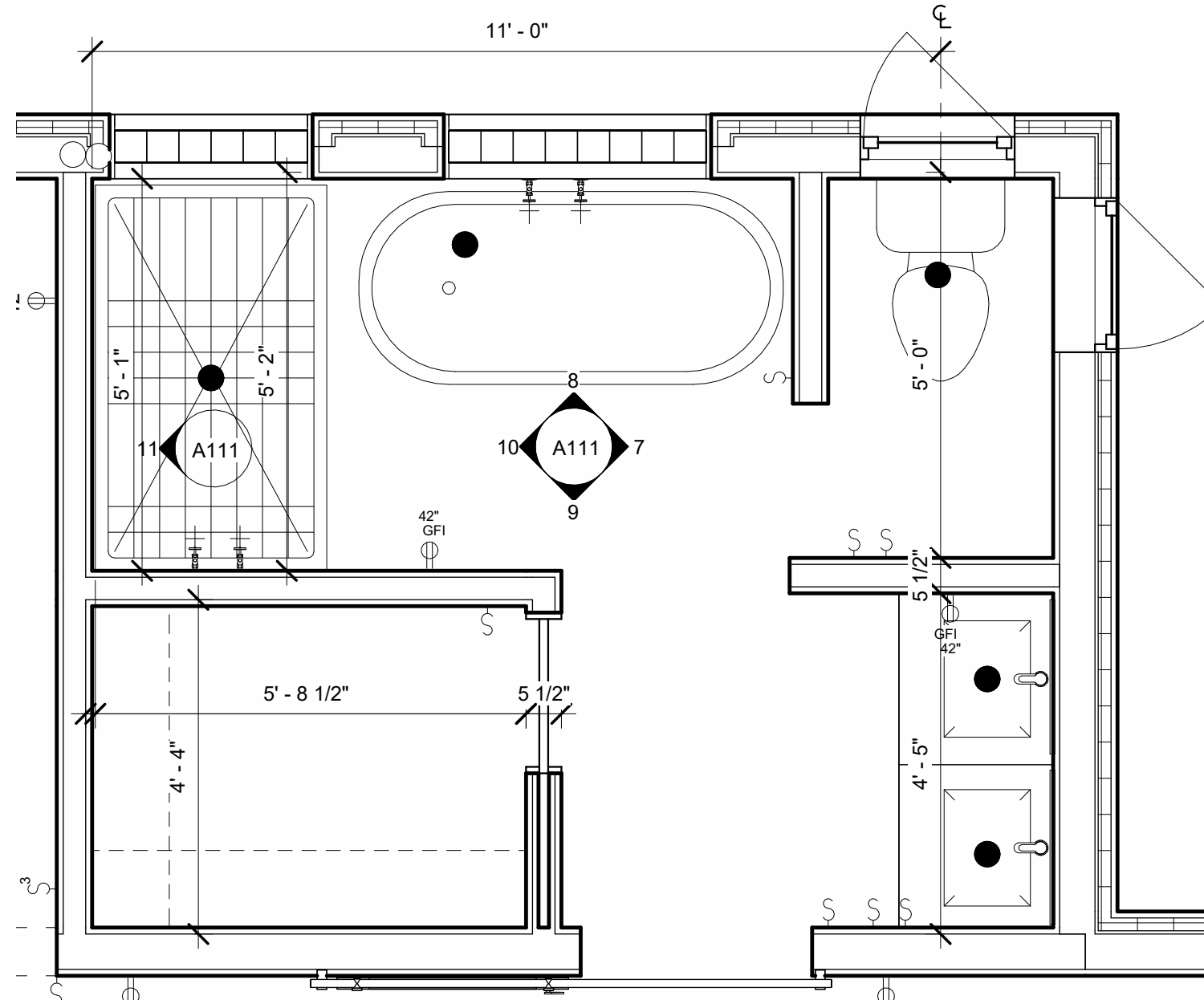
1 ENLARGED BATH 2
1/2" = 1'-0"



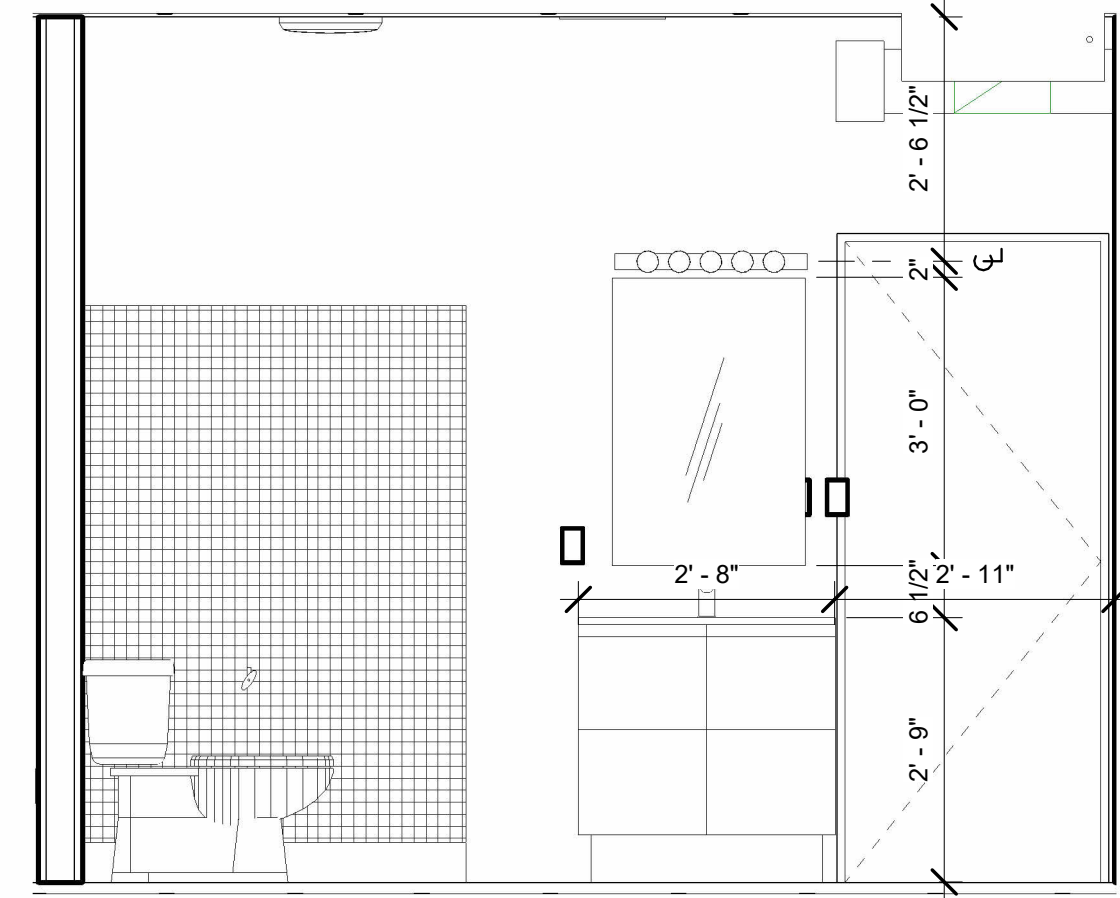
3 BATH 2 EAST ELEVATION
1/2" = 1'-0"



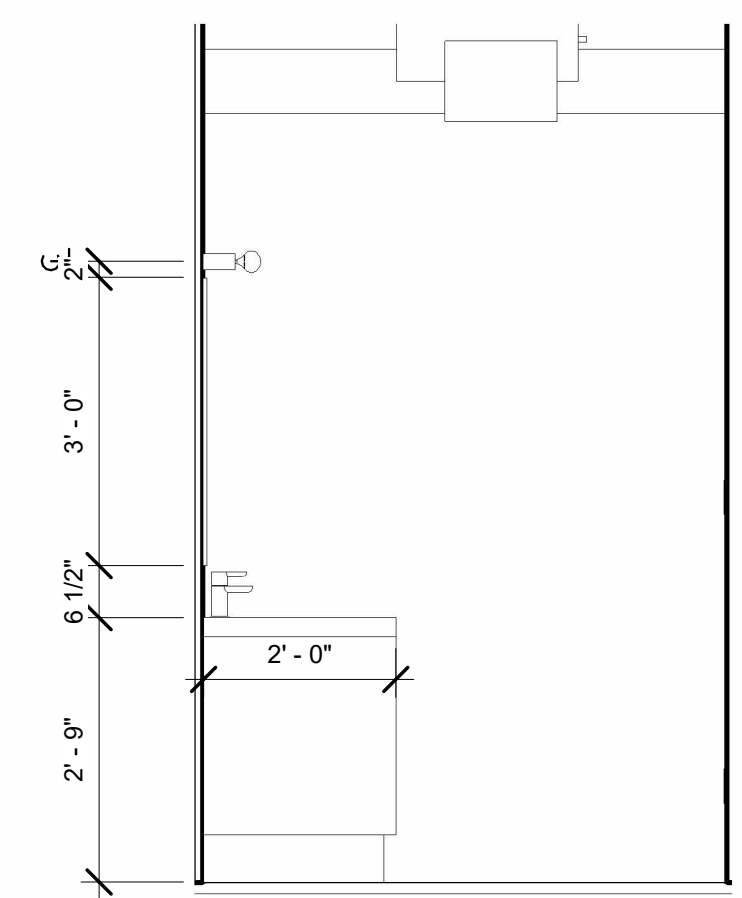
4 BATH 2 NORTH ELEVATION
1/2" = 1'-0"



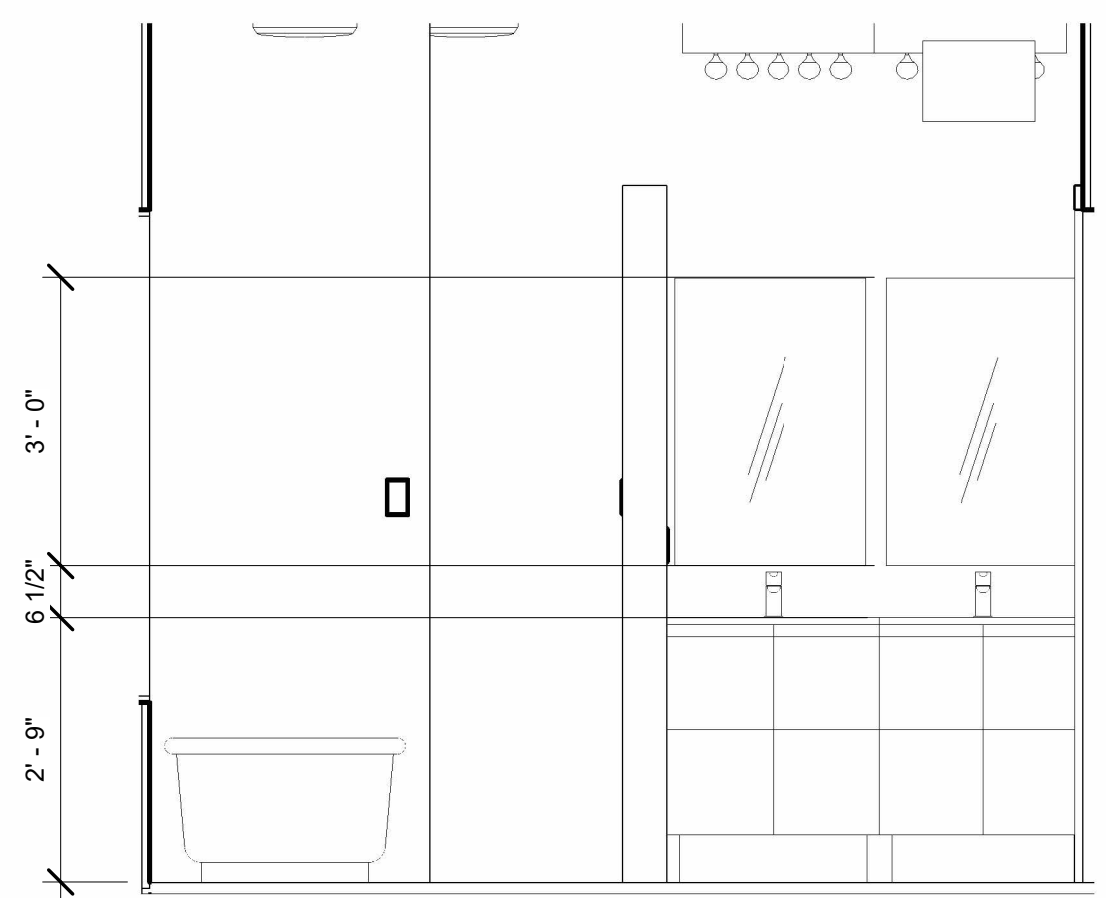
2 ENLARGED MASTER BATH
1/2" = 1'-0"



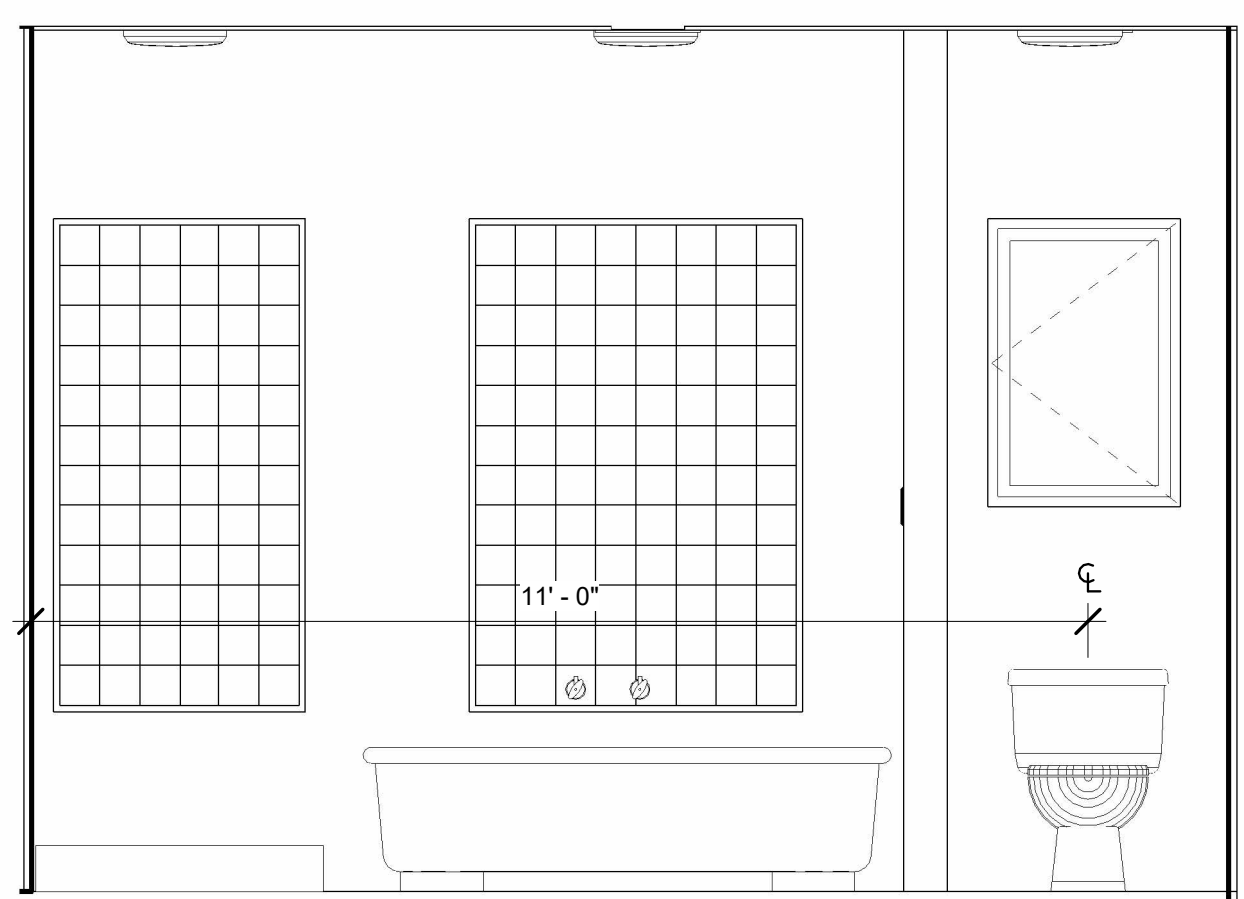
5 BATH 2 SOUTH ELEVATION
1/2" = 1'-0"



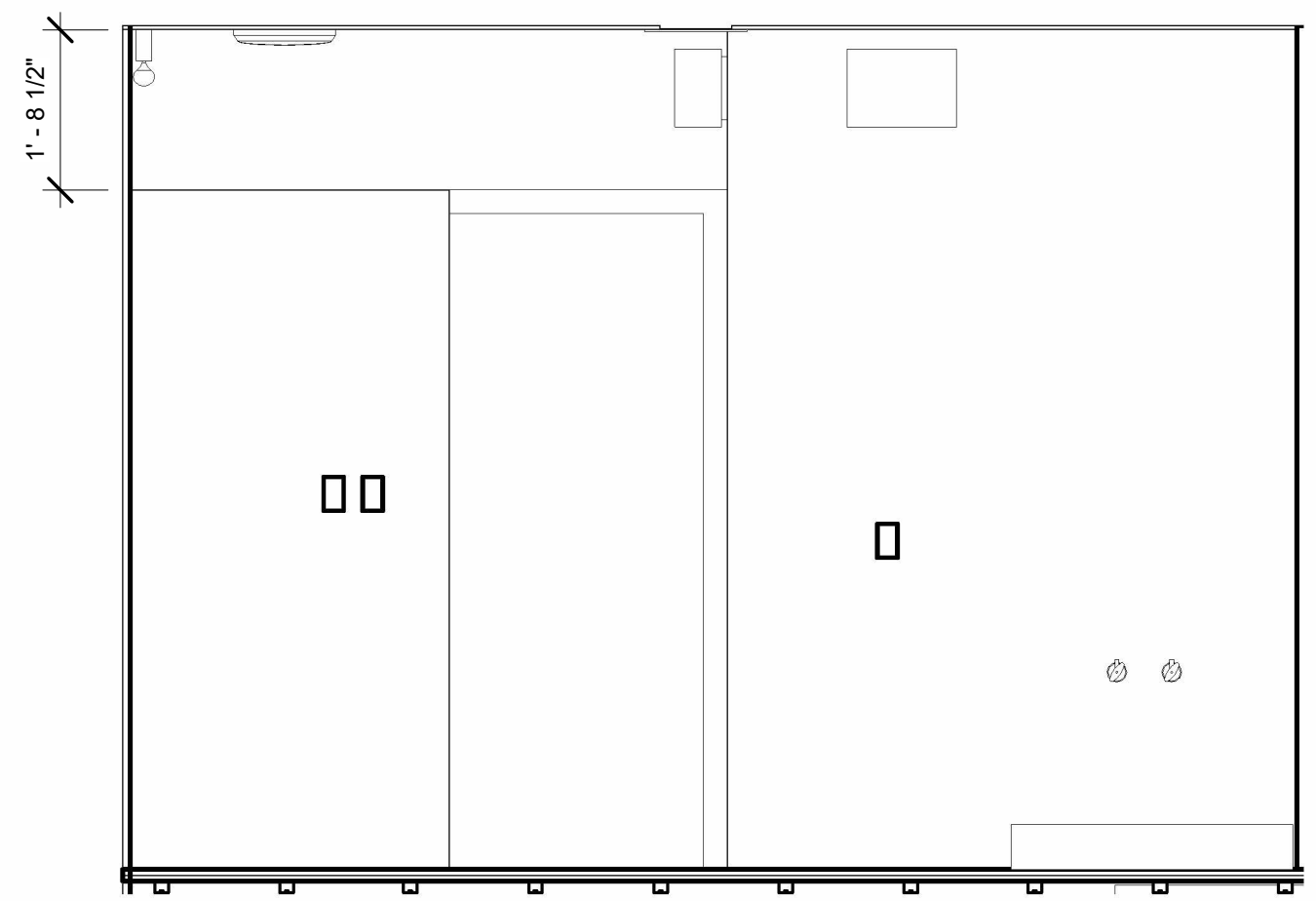
6 BATH 2 WEST ELEVATION
1/2" = 1'-0"



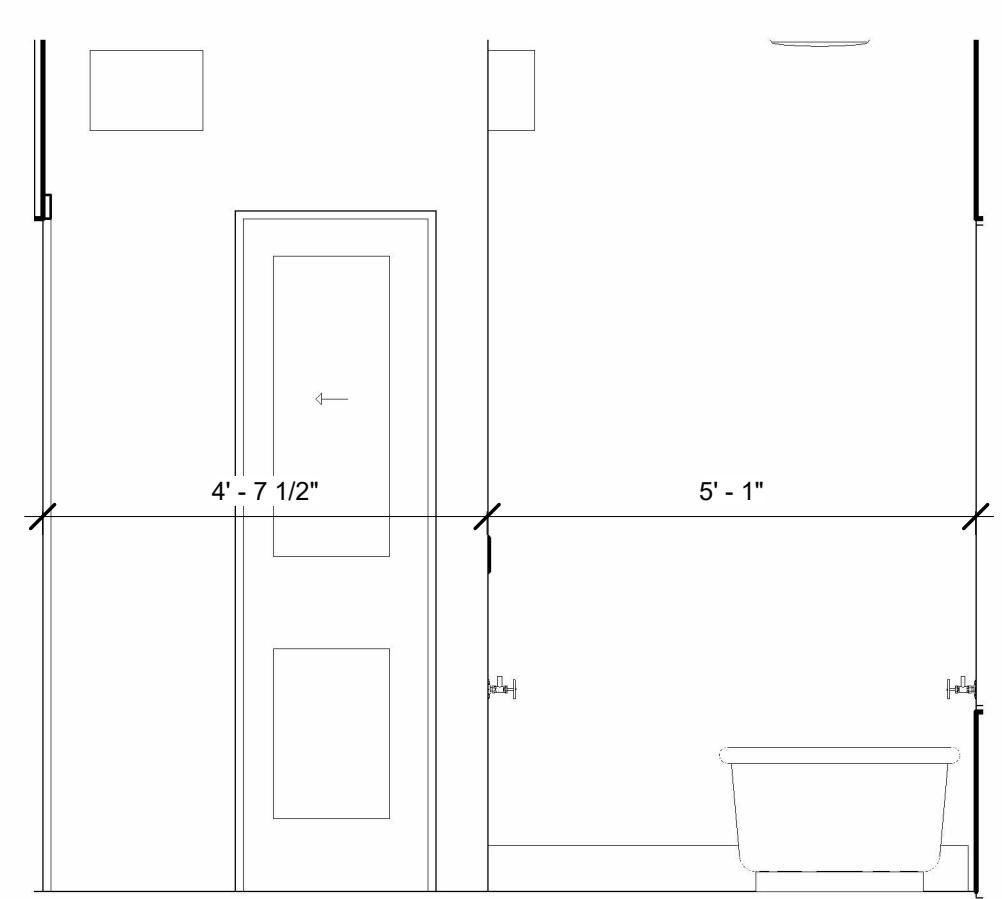
7 M. BATH EAST ELEVATION
1/2" = 1'-0"



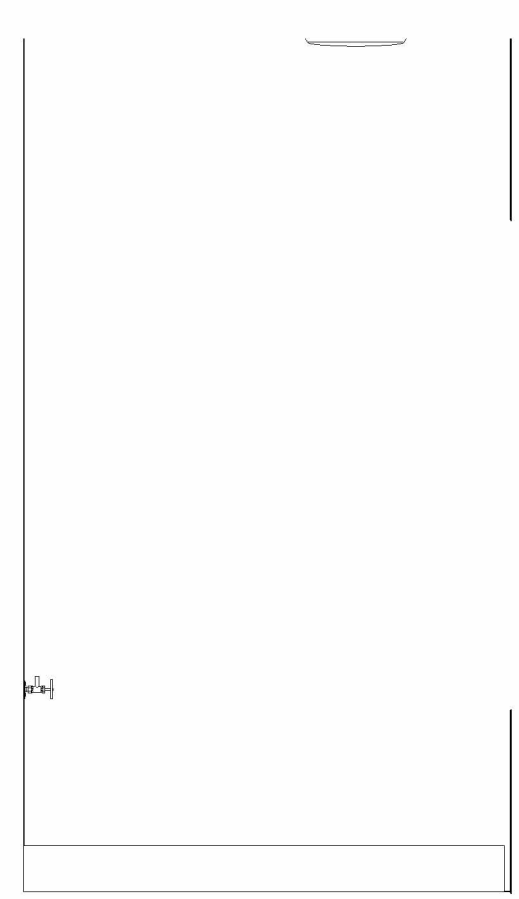
8 M. BATH NORTH ELEVATION
1/2" = 1'-0"



9 M. BATH SOUTH ELEVATION
1/2" = 1'-0"



10 M. BATH WEST ELEVATION
1/2" = 1'-0"



11 WC WEST ELEVATION
1/2" = 1'-0"

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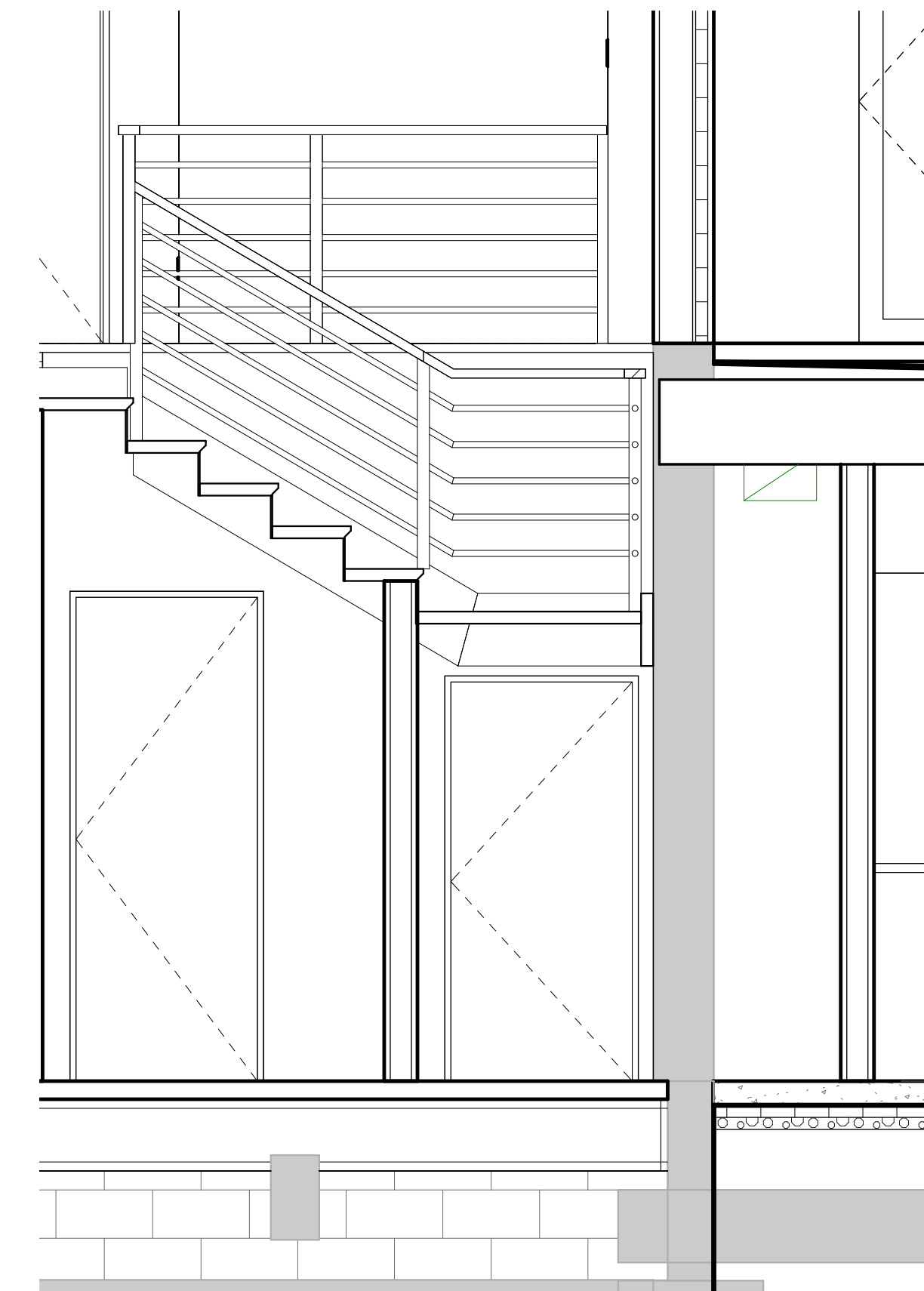
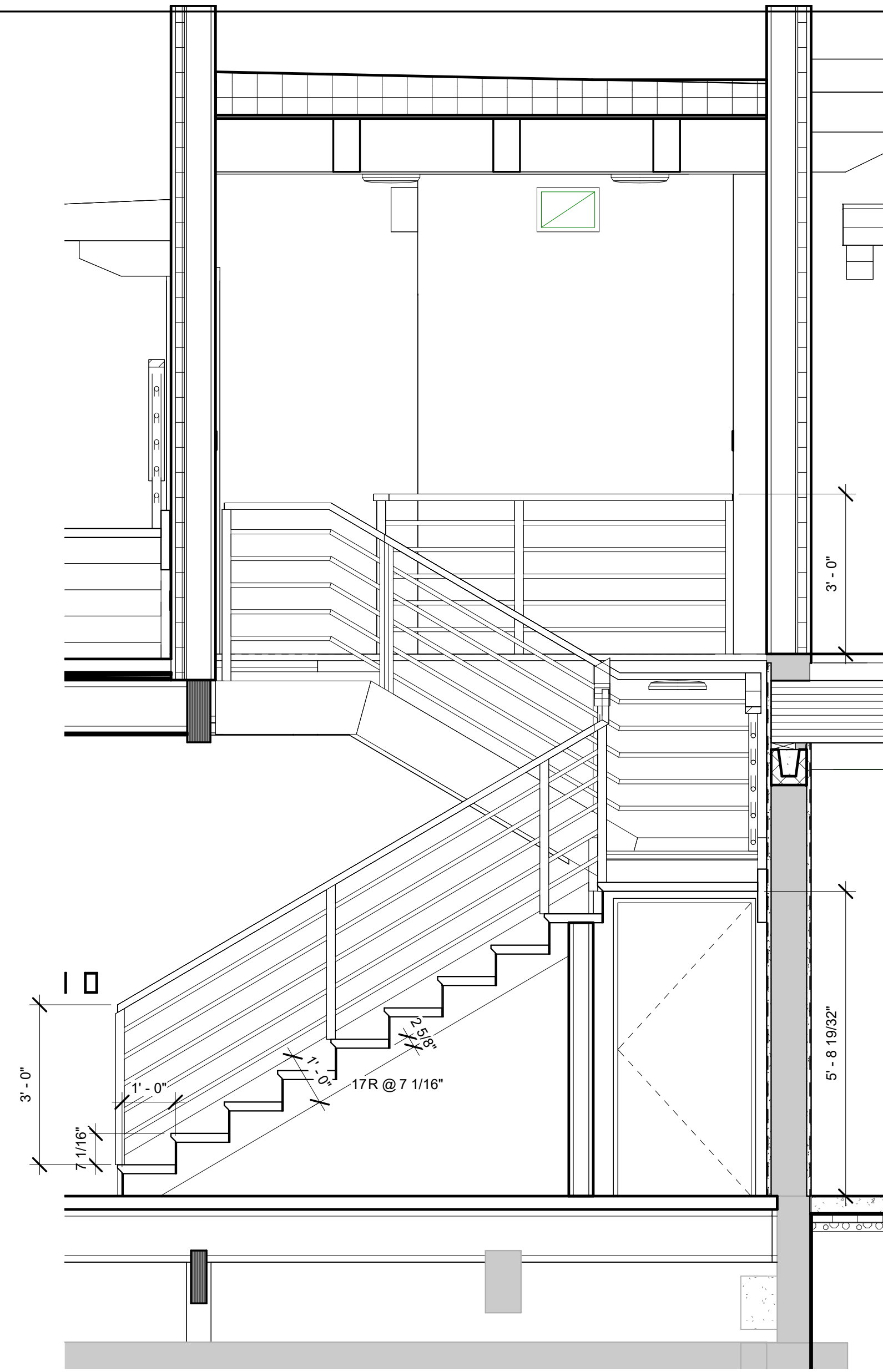
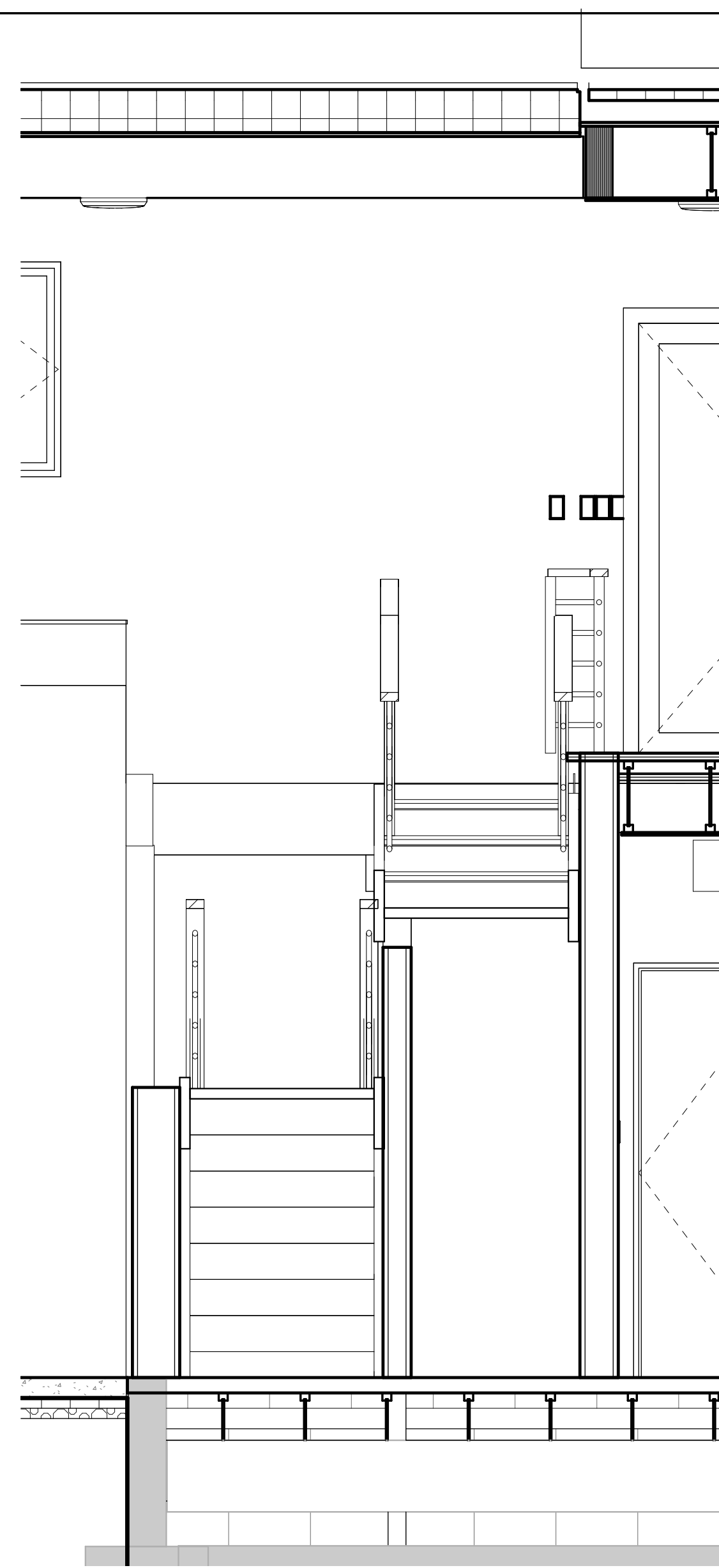
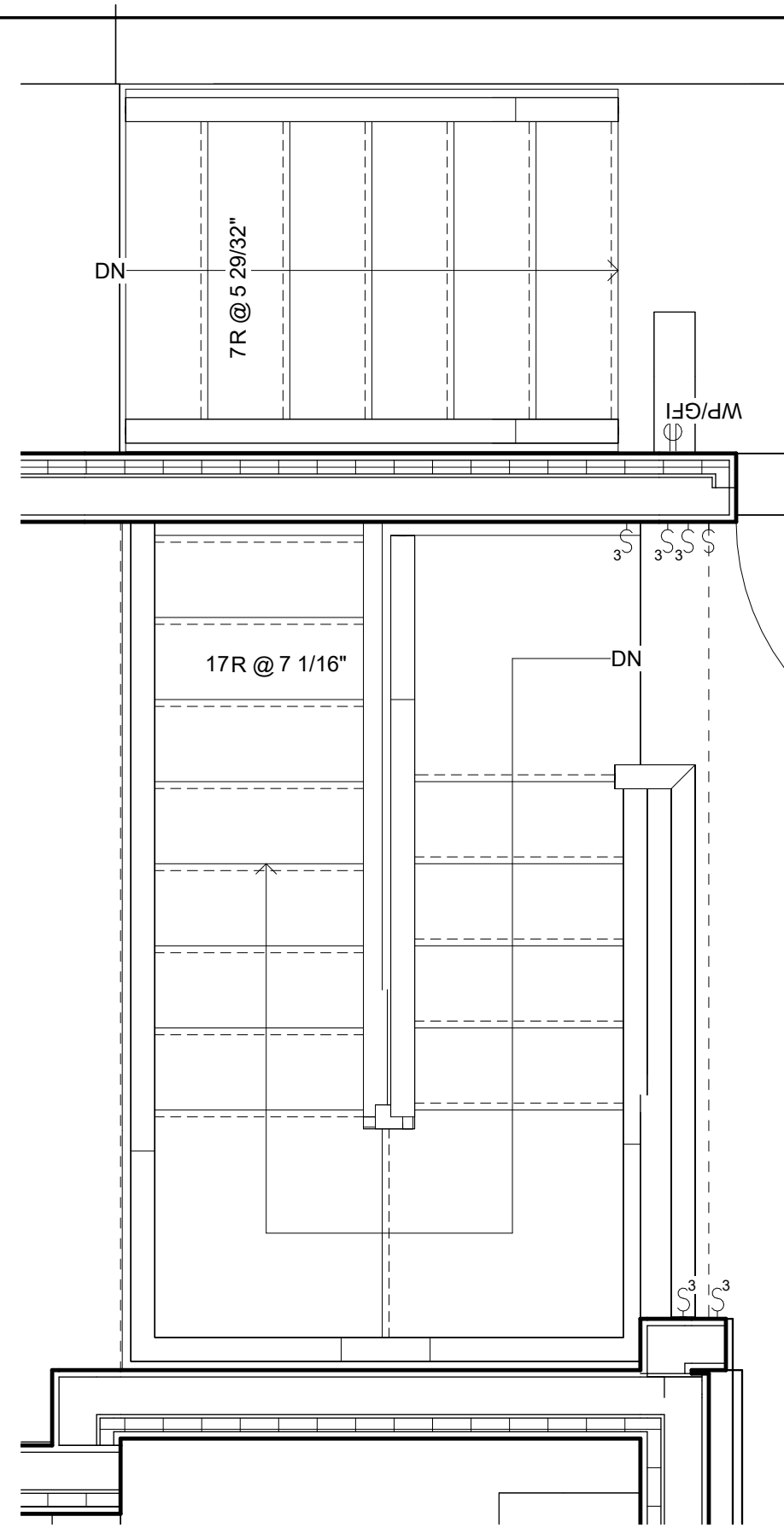
PROJECT: **FALVEY GARAGE REMODEL**

ADDRESS: **539 ONATE PLACE, SANTA FE, NM**

SHEET TITLE: **INTERIOR ELEVATIONS**

DATE	
Issue Date	
SCALE	1/2" = 1'-0"
DRAWN BY:	ANOU
CHECKED BY:	Checker
Revisions:	
Revision date:	

A111

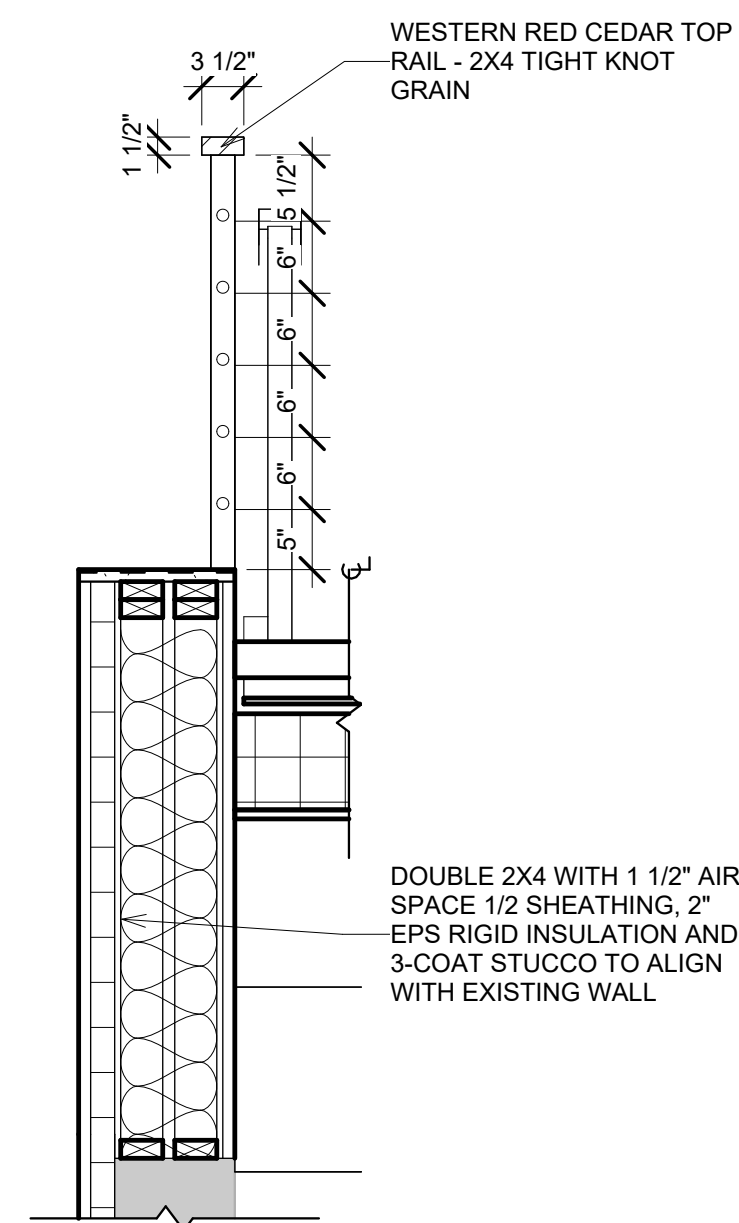
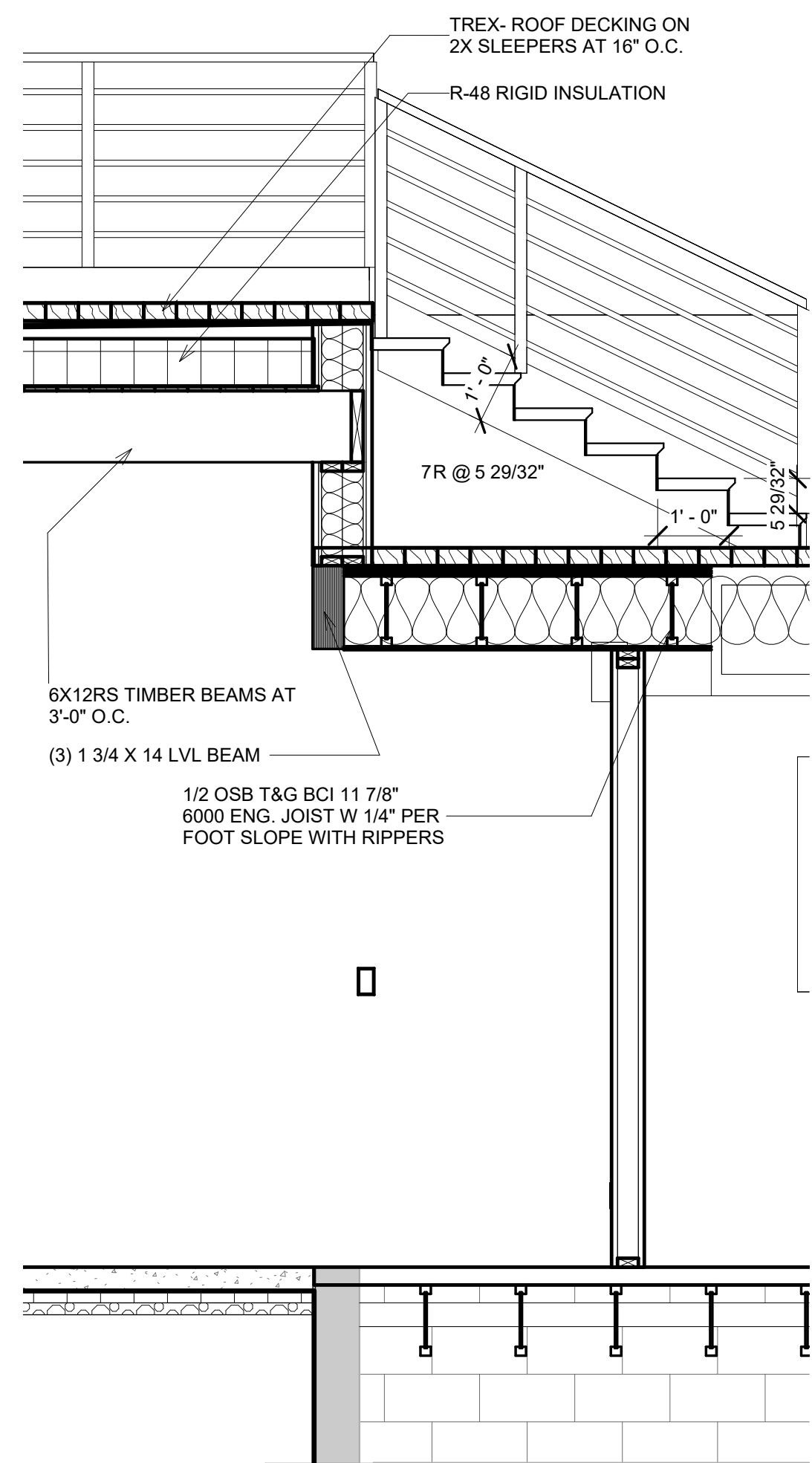


1 STAIR PLAN DETAIL
1/2" = 1'-0"

2 STAIR SECTION
1/2" = 1'-0"

3 STAIR SECTION 2
1/2" = 1'-0"

4 STAIR SECTION DETAIL
1/2" = 1'-0"



6 DETAIL @ RAILING
3/4" = 1'-0"

5 OUTDOOR STAIR
1/2" = 1'-0"

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PROJECT: **FALVEY GARAGE REMODEL**

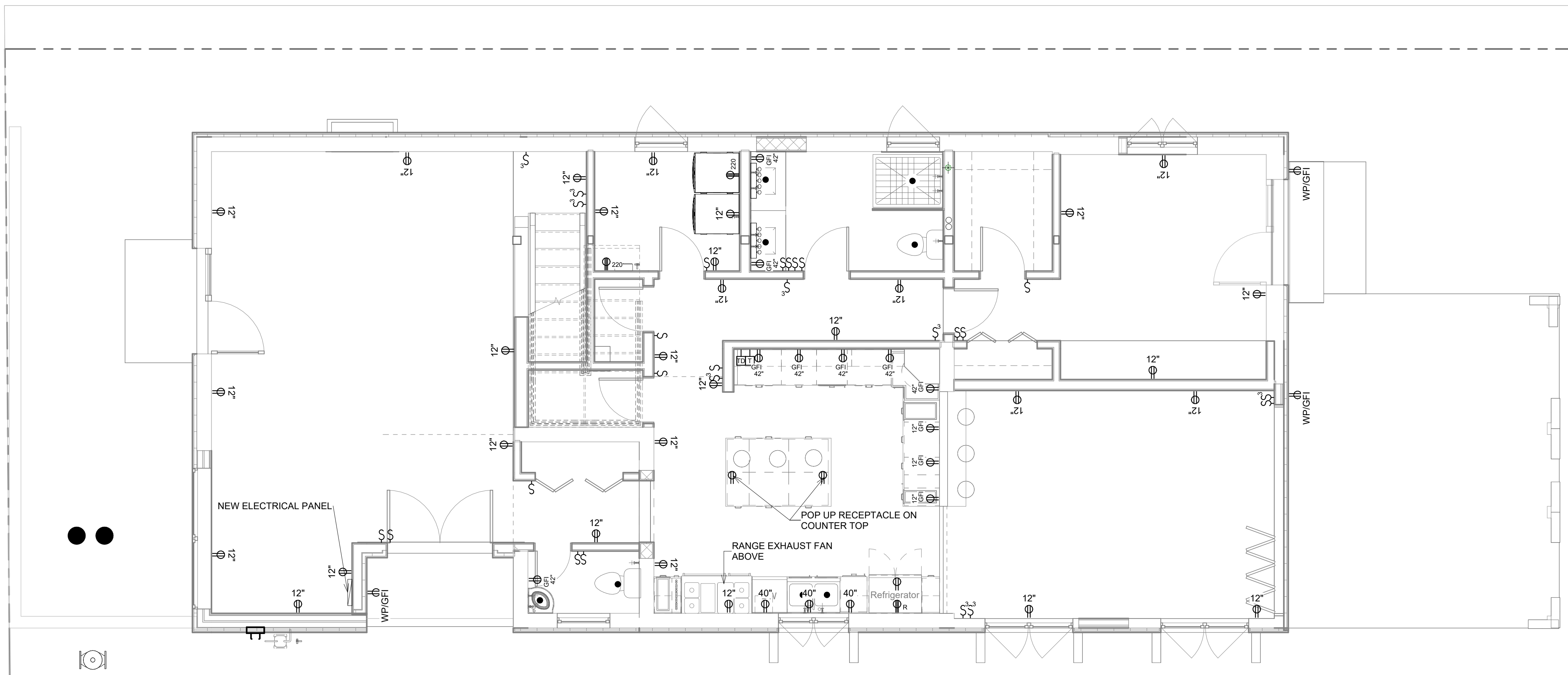
ADDRESS: **539 ONATE PLACE, SANTA FE, NM**

SHEET TITLE: **STAIR SECTIONS AND DETAILS**

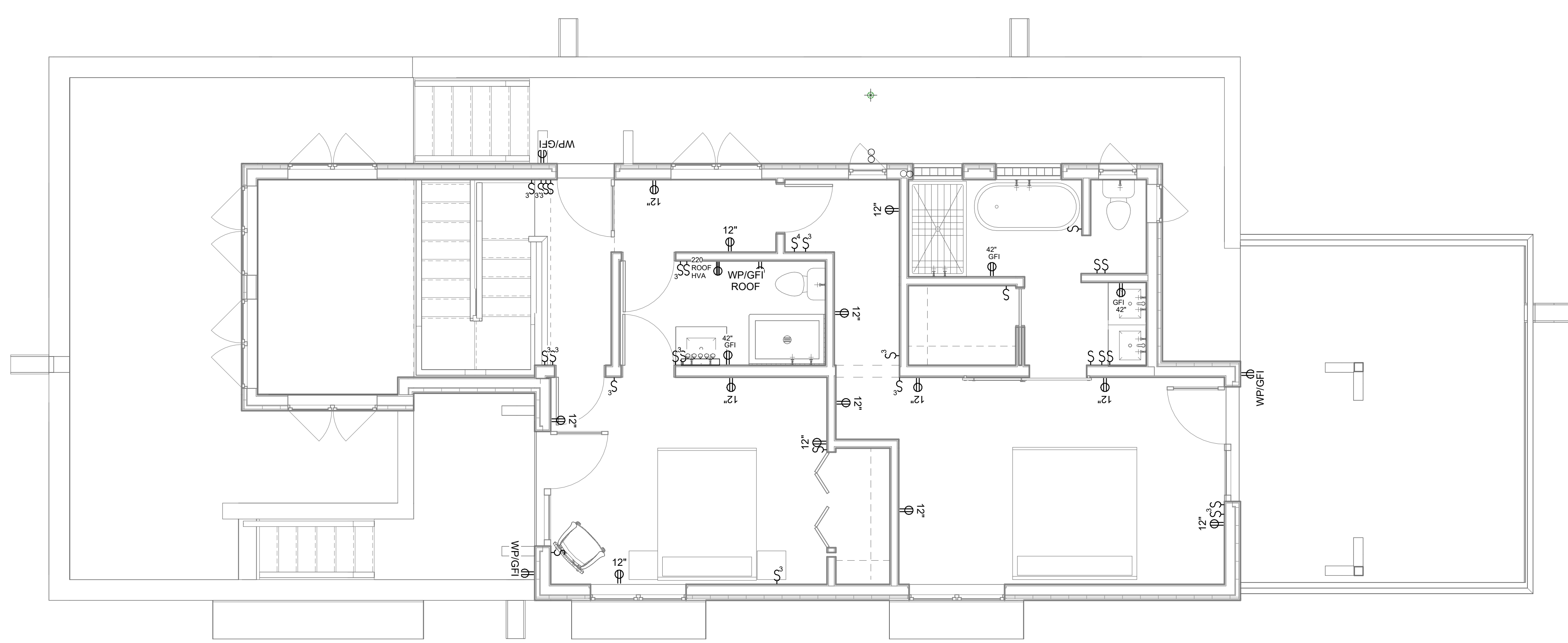
DATE
Issue Date
SCALE
As indicated
DRAWN BY:
ANOU
CHECKED BY:
Checker

Revisions:
Revision date:

A112

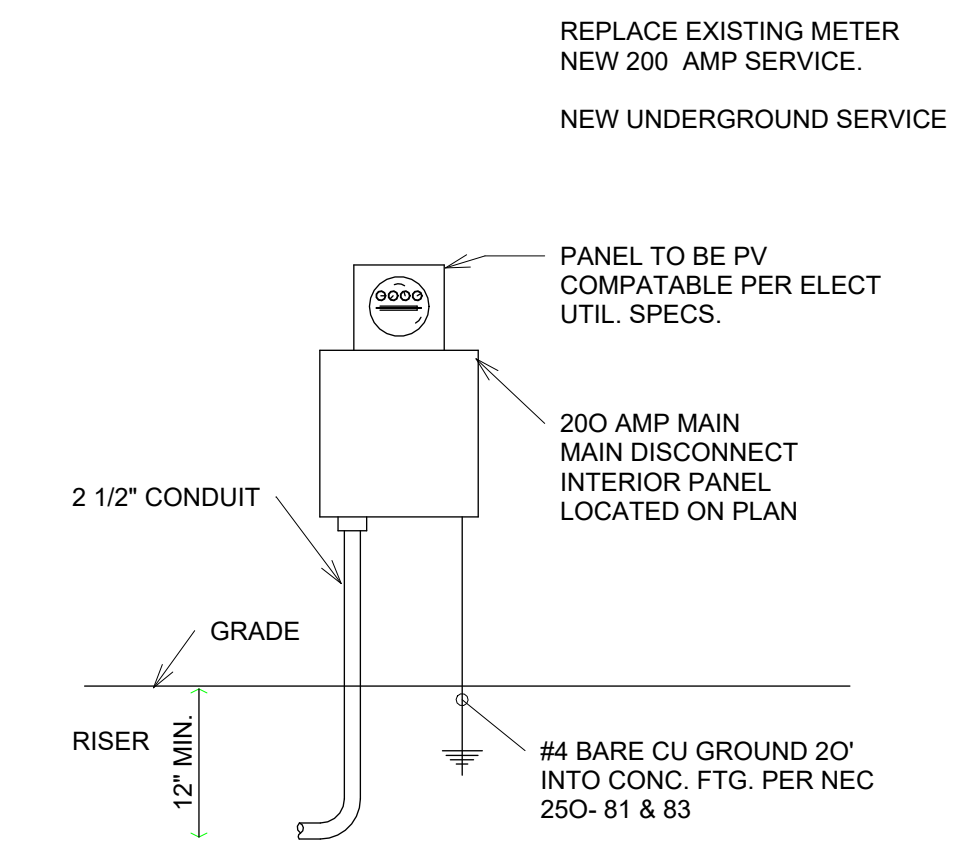


1 FLOOR PLAN - PROPOSED POWER PLAN
1/4" = 1'-0"



2 SECOND FLOOR - PROPOSED POWER PLAN
1/4" = 1'-0"

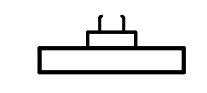
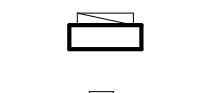
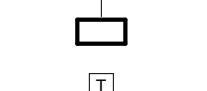
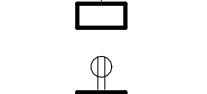
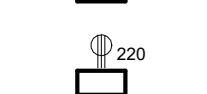
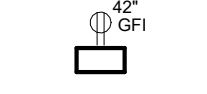
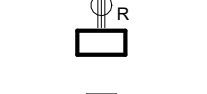
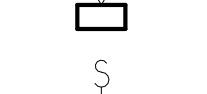
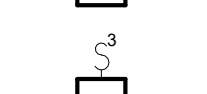
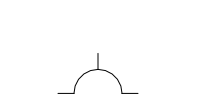
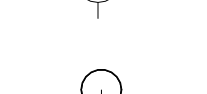
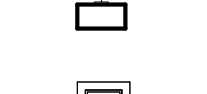
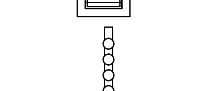
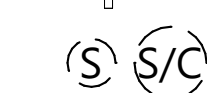
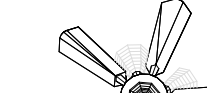


RISER DIAGRAM




LOADS

RANGE / OVEN	10,000 W.
DRYER	5,000 W.
WASHER	1,500 W.
D/W - DISPOSAL	1,500 W.
3 APPLIANCE CIRCUITS @ 1500 EA.	4,500 W.
MECH. UNITS MINI-SPLITS BOILER	10,000 W.
ON DEMAND WATER HEATER	10,000 W.
2,291 SQ. FT. x 3VA	6,873 W.
	29,330 W
1ST 10KW @ 100%	10,000 W.
BALANCE @ 40%	7,732
	17,732 W
17,732/220 = 80.6 AMPS	
PROVIDE 200 AMP SERVICE	

ELECTRICAL SYMBOL LEGEND

-  ELECTRIC METER
-  ELECTRICAL PANEL
-  DATA WIRELESS HUB
-  TELEPHONE
-  DUPLEX OUTLET
-  220 OUTLET
-  GFI OUTLET
-  220 RANGE OUTLET
-  DATA
-  SINGLE POLE SWITCH
-  THREE-WAY SWITCH
-  LED CEILING MOUNTED LIGHT
-  WALL LIGHT
-  PANASONIC WHISPER GREEN
-  VANITY LIGHT FIXTURE
-  SMOKE AND/OR CO2 DETECTOR
-  CEILING FAN



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PROJECT
FALVEY GARAGE REMODEL

ADDRESS:
539 ONATE PLACE, SANTA FE, NM

SHEET TITLE:
POWER PLANS

DATE
Issue Date

SCALE
1/4" = 1'-0"

DRAWN BY:
ANOU

CHECKED BY:
Checker

Revisions:

Revision date:

E101

9/28/2023 11:52:29 AM

ELECTRICAL NOTES

The Electrical Contractor shall be Licensed and Insured, fully guarantee the electrical installation.

Furnish and install including labor, supervision, materials, tools, services, transportation, overhead costs, fees, inspection charges, royalties, profits, etc., a complete electrical installation as specified herein and indicated on drawings, e.g., control wiring for mechanical, electrical work shall comply with all applicable local, state, federal codes, ordinances, rules, regulations, standards, etc.. The entire electrical installation shall comply with or surpass the most recent edition of the National Electrical Code and Occupational Safety and Health Act (OSHA).

All materials and equipment furnished by this Contractor shall be new of first-class quality unless otherwise noted. Conform with Underwriter's Laboratories, Inc., standards where applicable and be so labeled. Materials, equipment, etc., not indicated on drawings of specified herein but required for a successful and efficient completion of the electrical installation shall be held to be implied and shall be furnished and installed for no additional cost. Enclosures for all equipment shall be suitable for use intended, e.g., weatherproof for exterior and wet locations, all equipment shall be rated for used intended e.g., voltage, h.p., rating of disconnect switches.

Devices shall be Dacora, toggle switches, and receptacles, all with Dacora plates. Color of devices and plates will be selected from standard available colors. Coordinate all outlet locations with all drawings prior to and rough-in. Breakers shall meet 2020 Electrical Code. Provide ARC Fault and GFI's as required including 220 in wet areas.

All wiring shall be installed in approved Romex or UF direct burial wiring buried in the adobe walls. Raceways shall be used in any exposed or unprotected areas. Conductors shall be copper unless noted otherwise. Minimum size of No. 12 AWG with THW, THWN, or THHN insulation. Control wiring may be No. 14 AWG or smaller if recommended by supplier of equipment as applicable.

Make no installation of work which would leave inadequate operating or serving space for any item for the entire project. Drawings are not intended to show in detail all features of work, check location of electrical work to determine in advance that it clears all openings, structural members, etc., arrange and schedule work so that a minimum of cutting and patching is required. Where contract documents, e.g., drawings and specifications do not meet with minimum codes, etc.

Panasonic Whisper Green exhaust fans w/Programable Control Module provided and installed by Electrical Contractor, General Contractor to provide all other fixtures.

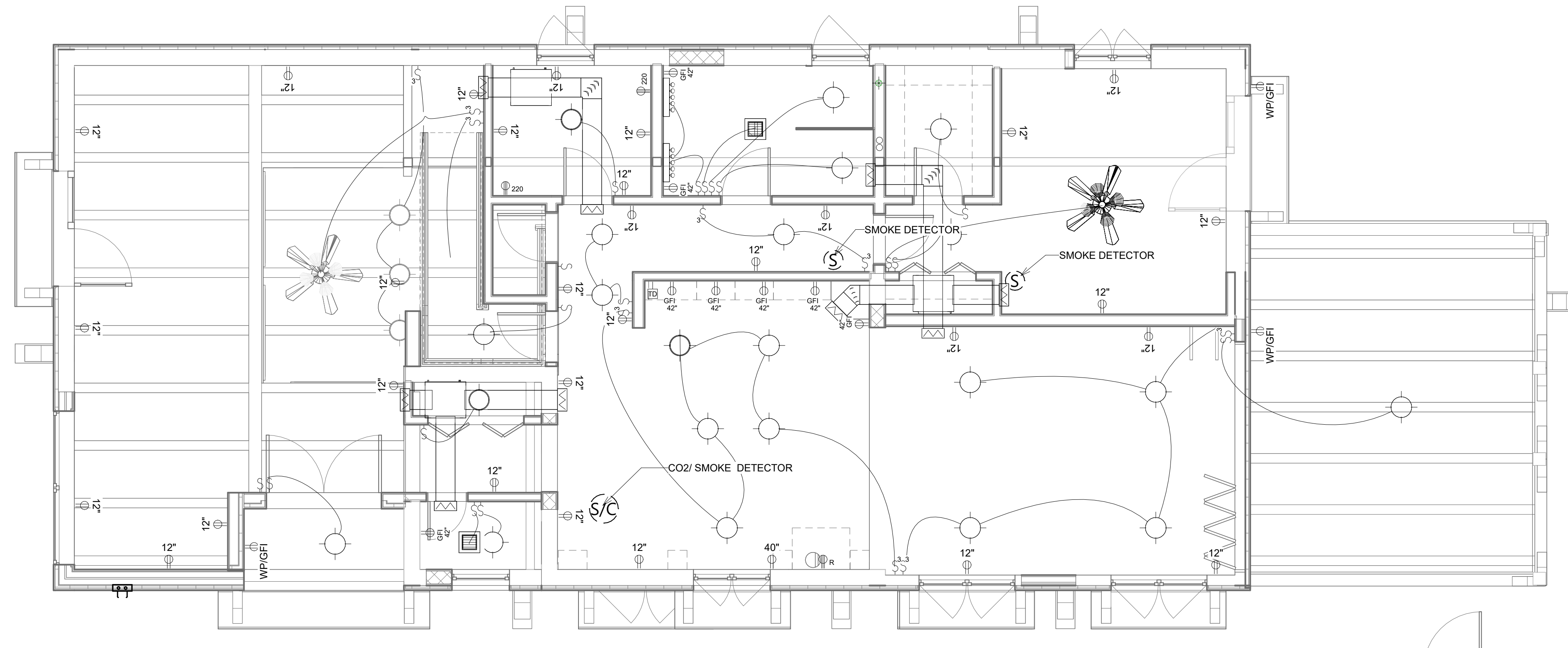
Include and pay as directed all costs for serving electrical and telephone utilities charges, including all addition work, materials, etc., required to provide the complete electrical and telephone installation for this project.

Electrical Contractor to provide 8-line phone wiring to all jacks, typ.

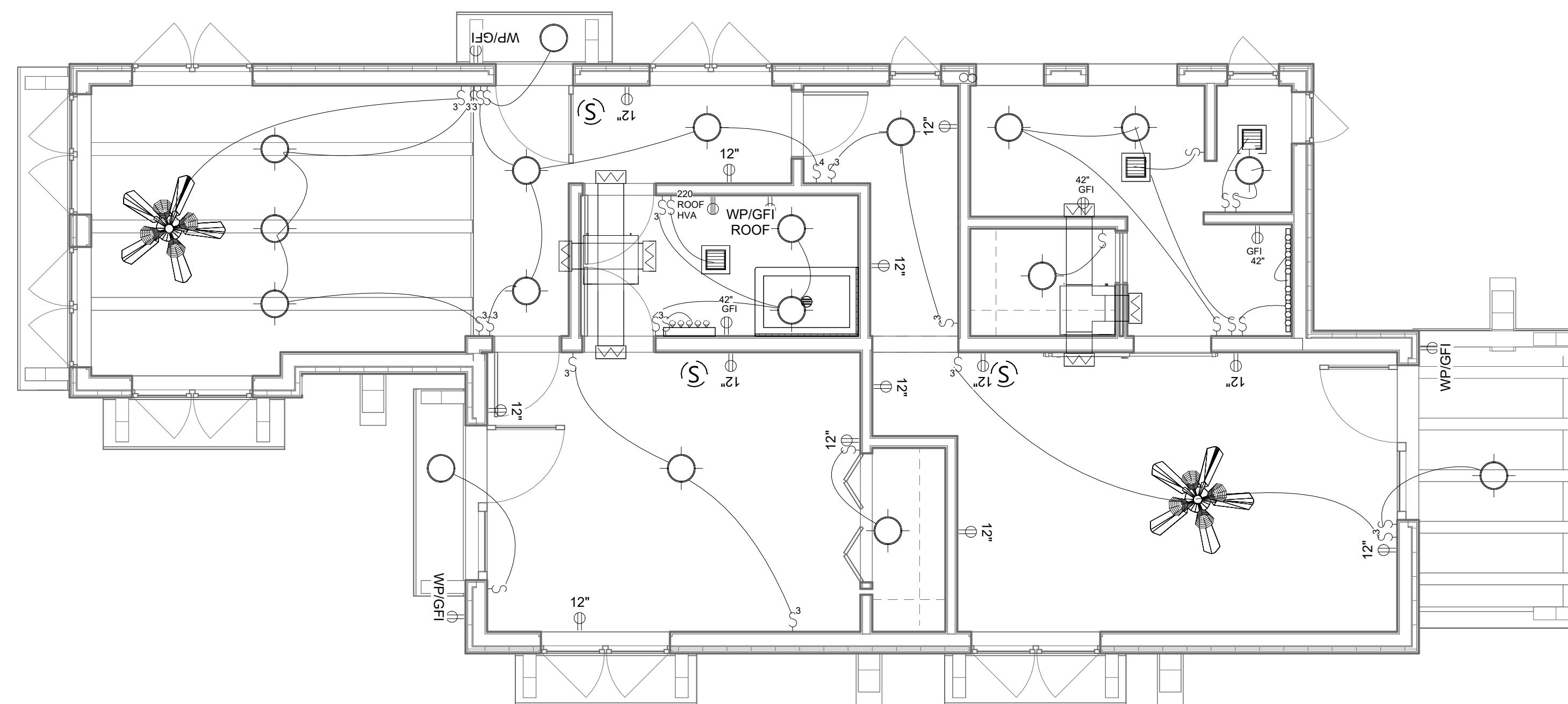
Electrical Contractor to 2- CAT-6 Cable for Computer Network to terminate in Utility Closet or as otherwise directed.

Tools and equipment used for the entire installation shall be adequate, safe, and in first-class condition for all work on this project and shall be used only for use intended. Keep all areas clean of waste and debris. All phases of work shall be accomplished by experienced, competent workmen.

Materials, equipment, etc., including equipment and materials furnished by others, e.g., motors, starters, control devices, t-stats, etc., prior to and rough-in and comply



1 FIRST FLOOR - PROPOSED LIGHTING
1/4" = 1'-0"



2 SECOND FLOOR - PROPOSED LIGHTING
1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND

	ELECTRIC METER
	ELECTRICAL PANEL
	DATA WIRELESS HUB
	TELEPHONE
	DUPLEX OUTLET
	220 OUTLET
	GFI OUTLET
	220 RANGE OUTLET
	DATA
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	LED CEILING MOUNTED LIGHT
	WALL LIGHT
	PANASONIC WHISPER GREEN
	VANITY LIGHT FIXTURE
	SMOKE AND/OR CO2 DETECTOR
	CEILING FAN

PROJECT: **FALVEY GARAGE REMODEL**

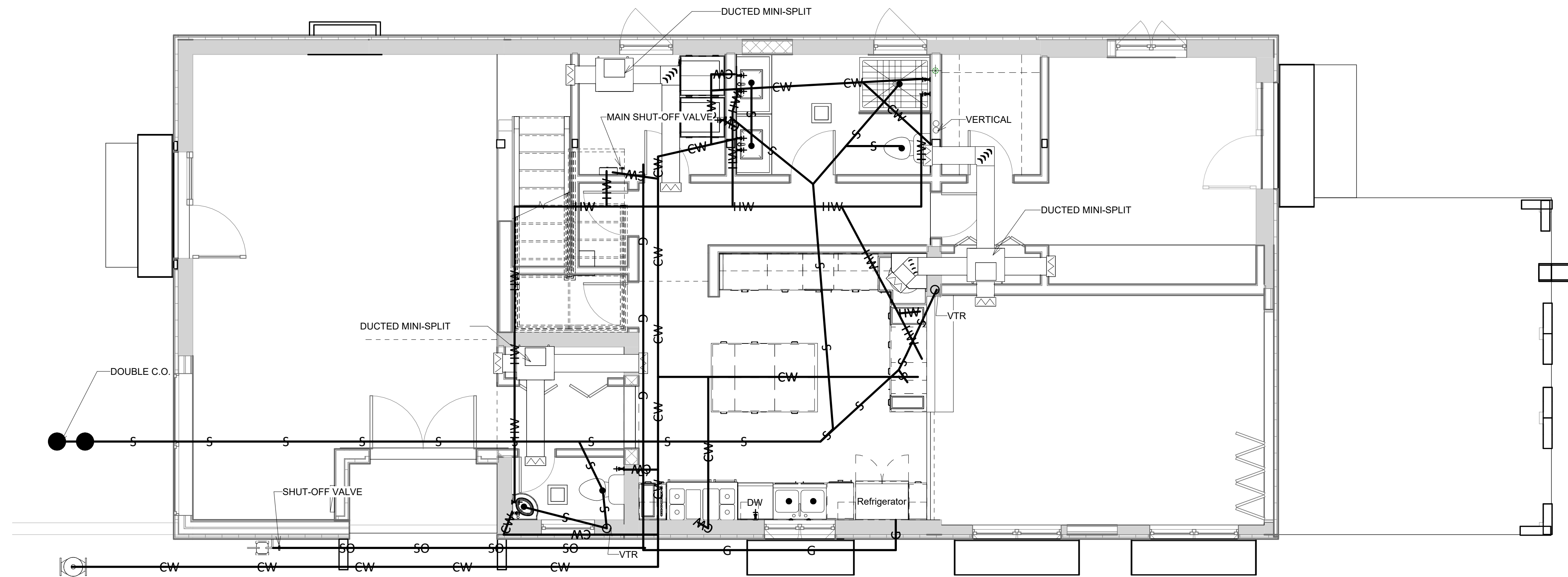
ADDRESS: **539 ONATE PLACE, SANTA FE, NM**

SHEET TITLE: **LIGHTING PLANS**

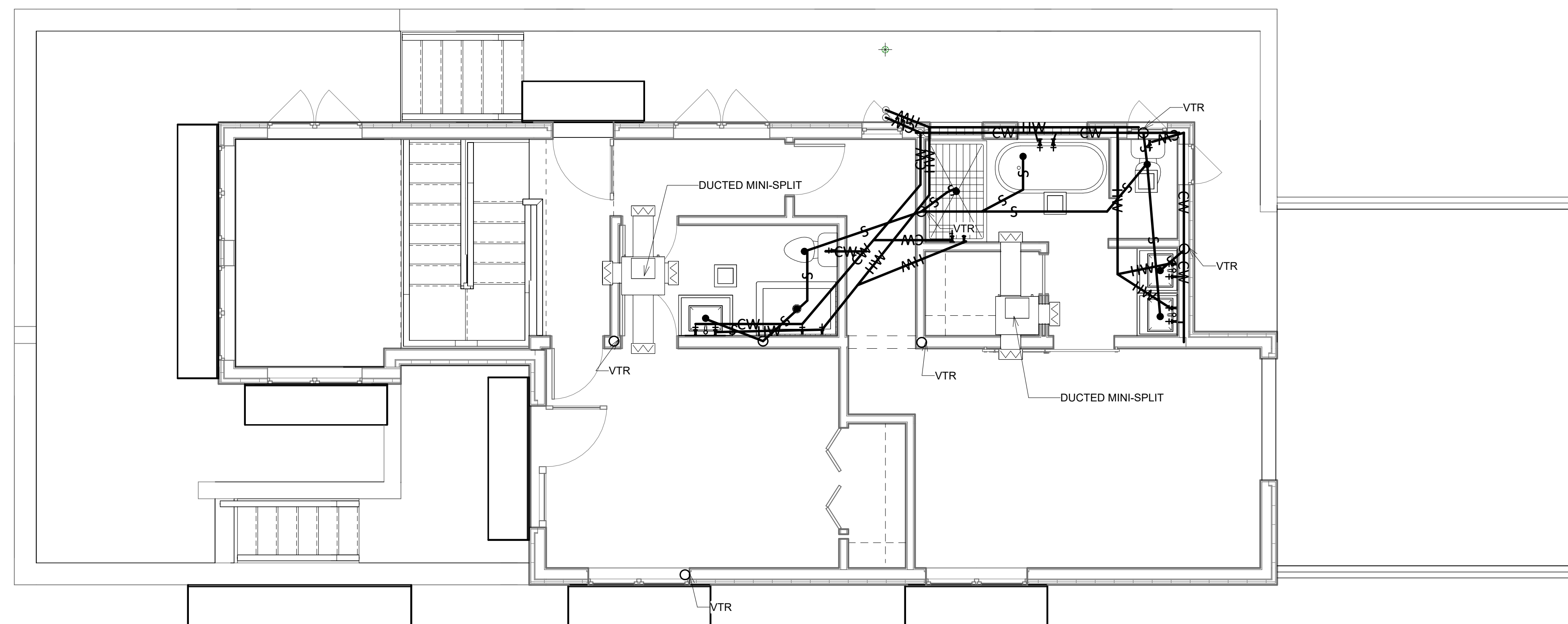
DATE	
Issue Date	
SCALE	1/4" = 1'-0"
DRAWN BY:	ANOU
CHECKED BY:	Checker
Revisions:	
Revision date:	

E102

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1 FLOOR PLAN - PROPOSED PLUMBING
1/4" = 1'-0"



2 SECOND FLOOR PLAN - PROPOSED PLUMBING
1/4" = 1'-0"

MECHANICAL NOTE

DUCTED MINI-SPLIT UNITS: PROVIDE DROP CEILING ACCESS PANELS, CONDENSATE LINES AND ETC. AS NEEDED

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PROJECT: **FALVEY GARAGE REMODEL**
ADDRESS: **539 ONATE PLACE, SANTA FE, NM**
SHEET TITLE: **PLUMBING**

DATE	
Issue Date	
SCALE	1/4" = 1'-0"
DRAWN BY:	ANOU
CHECKED BY:	Checker
Revisions:	
Revision date:	

P101

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Project Information

For: FALVEY GARAGE REMODEL
539 ONATE PLACE., Santa Fe, NM

Design Information

	Htg	Clg	Infiltration	Simplified
Outside db (°F)	-7	110	Method	Average
Inside db (°F)	70	70	Construction quality	0
Design TD (°F)	77	40	Fireplaces	
Daily range	-	H		
Inside humidity (%)	30	30		
Moisture difference (gr/lb)	38	-21		

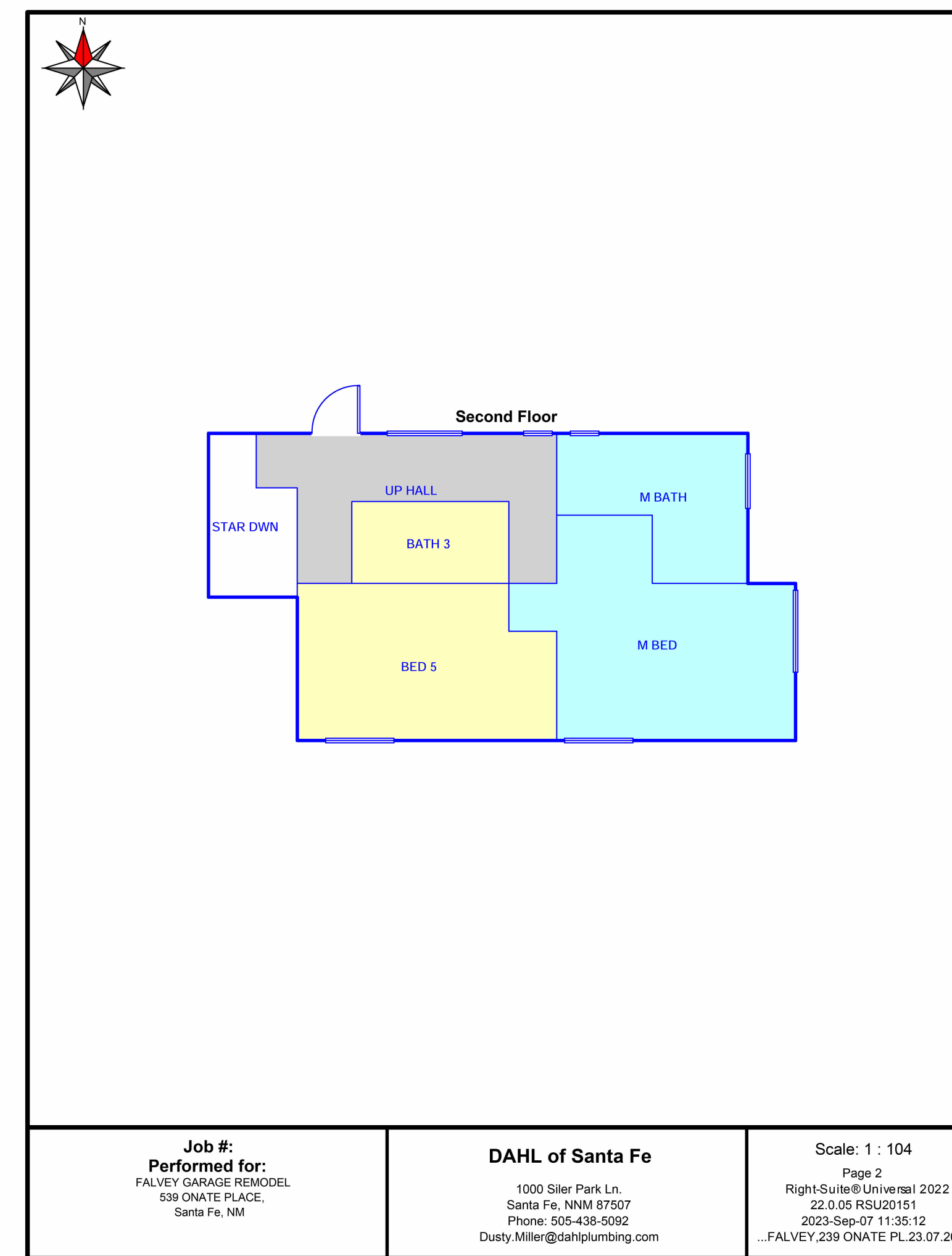
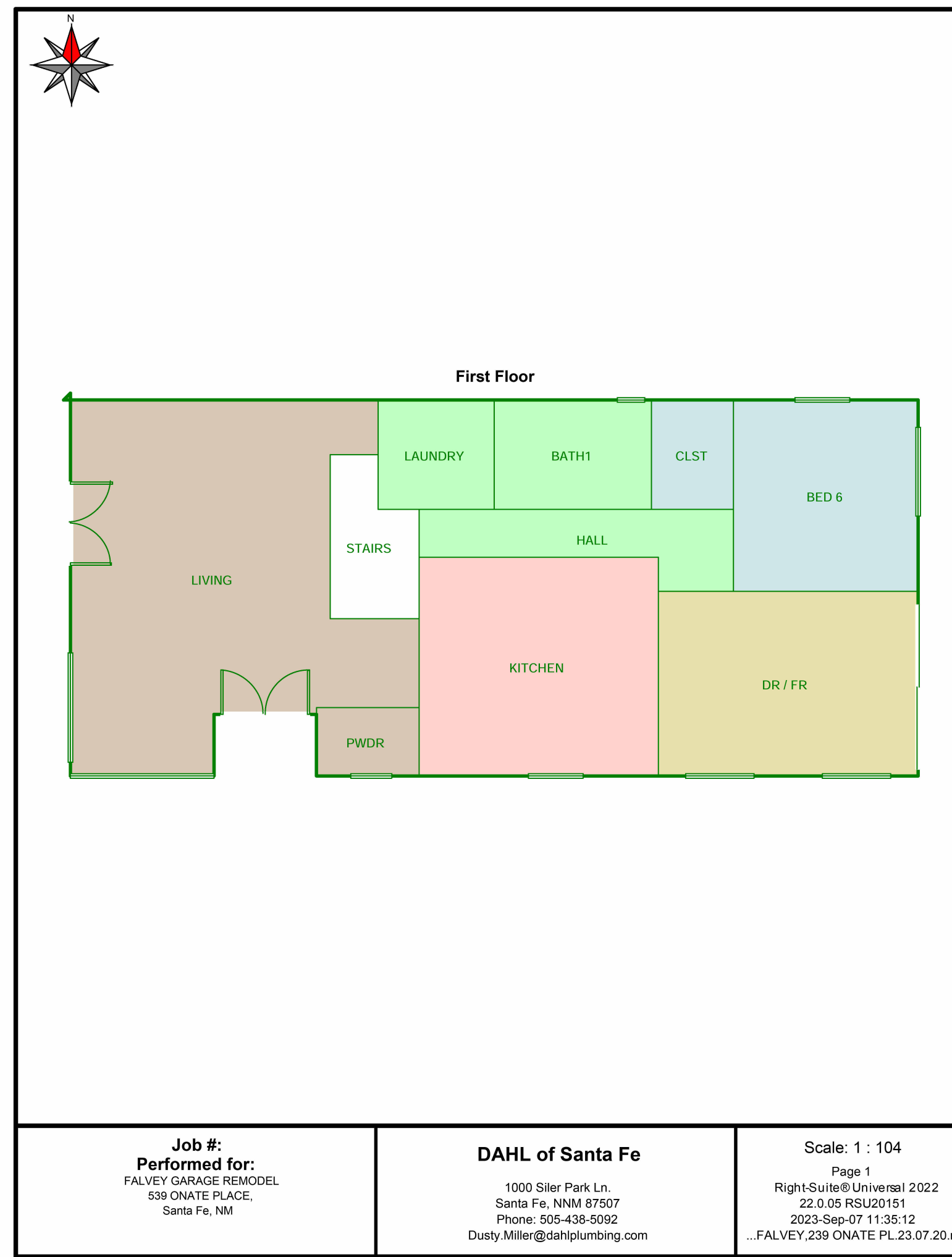
HEATING EQUIPMENT

Make
Trade
Model
AHRI ref
Efficiency
Heating input
Heating output
Temperature rise
Actual air flow
Air flow factor
Static pressure
Space thermostat

COOLING EQUIPMENT

Make
Trade
Cond
Coil
AHRI ref
Efficiency
Sensible cooling
Latent cooling
Total cooling
Actual air flow
Air flow factor
Static pressure
Load sensible heat ratio

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
(Unconditioned)	p	132	0	0	0
DWN 1	p	577	10666	707	685
DWN 2	p	280	2596	169	139
DWN 3	p	257	6418	7133	418
DWN 4	p	237	4790	5575	312
DWN 5	p	254	2300	1038	150
UP 1	p	275	4651	3513	303
UP 2	p	368	10211	10459	664
UP 2	p	368	10211	10459	664
Entire House	p	2532	45990	39058	2992
Other equip loads			0	0	0
Equip. @ 1.15 RSM			44917	0	0
Latent cooling			0	0	0
TOTALS		2532	45990	44917	2992



PLUMBING EQUIPMENT

Job Name: _____
Tag# _____

DAIKIN

Submittal Data Sheet FDMQ09RVJU
.75-Ton Ducted Concealed Indoor Unit

Indoor Specifications

Airflow Rate (cfm)	Cooling		Heating	
	H	M	H	M
343	290	343	290	
240	240	240	240	
Sound (dBA)	32	32	32	32
Dimensions (H x W x D) (in)	9-5/8 x 27-9/16 x 31-1/2			
Weight (lbs)	64			
Nominal Capacity (Btu/hr)	9,000			

*See Outdoor Unit for Rated Capacities

Piping

Liquid (in)	1/4
Gas (in)	3/8
Drain (in)	1

Optional Accessories

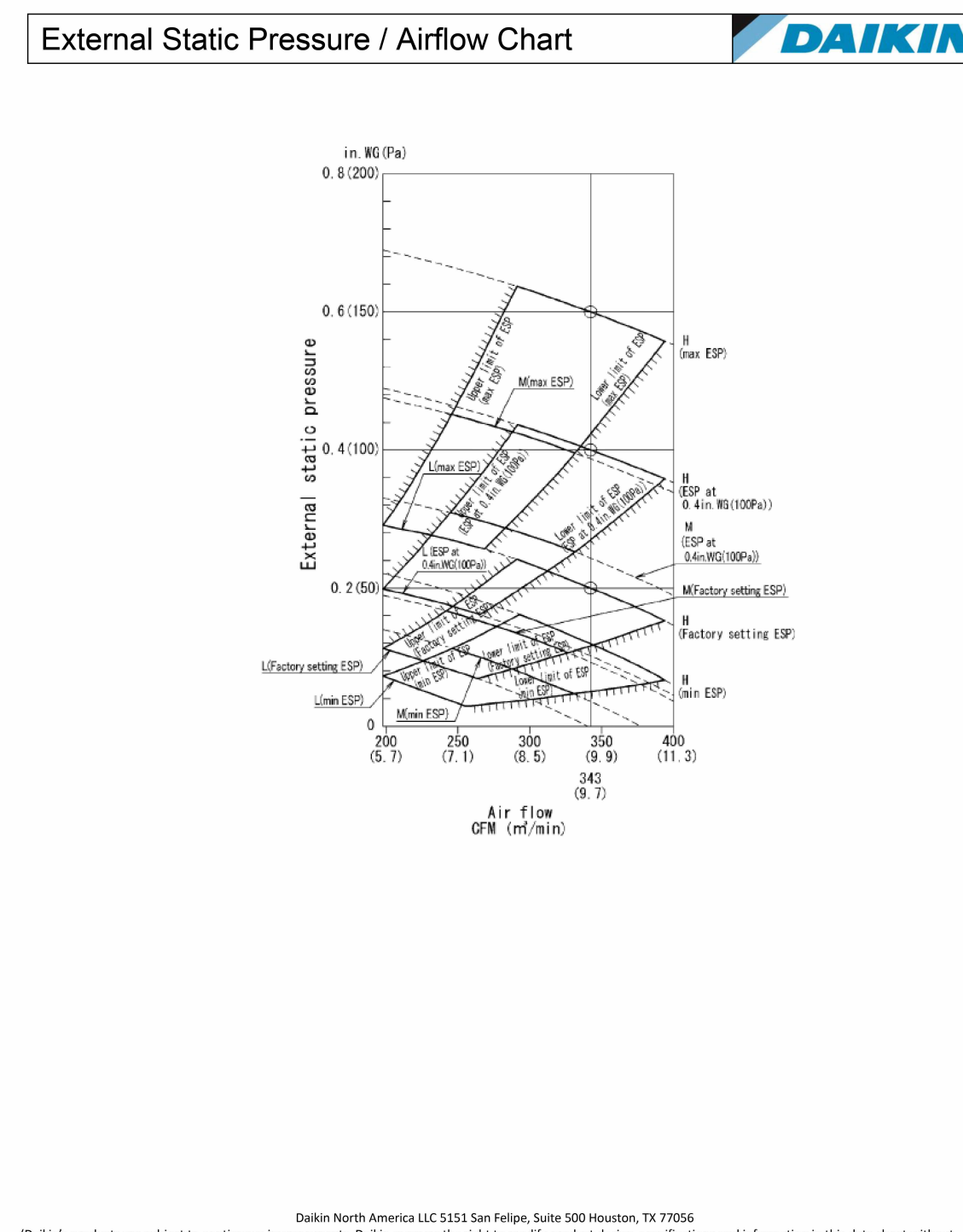
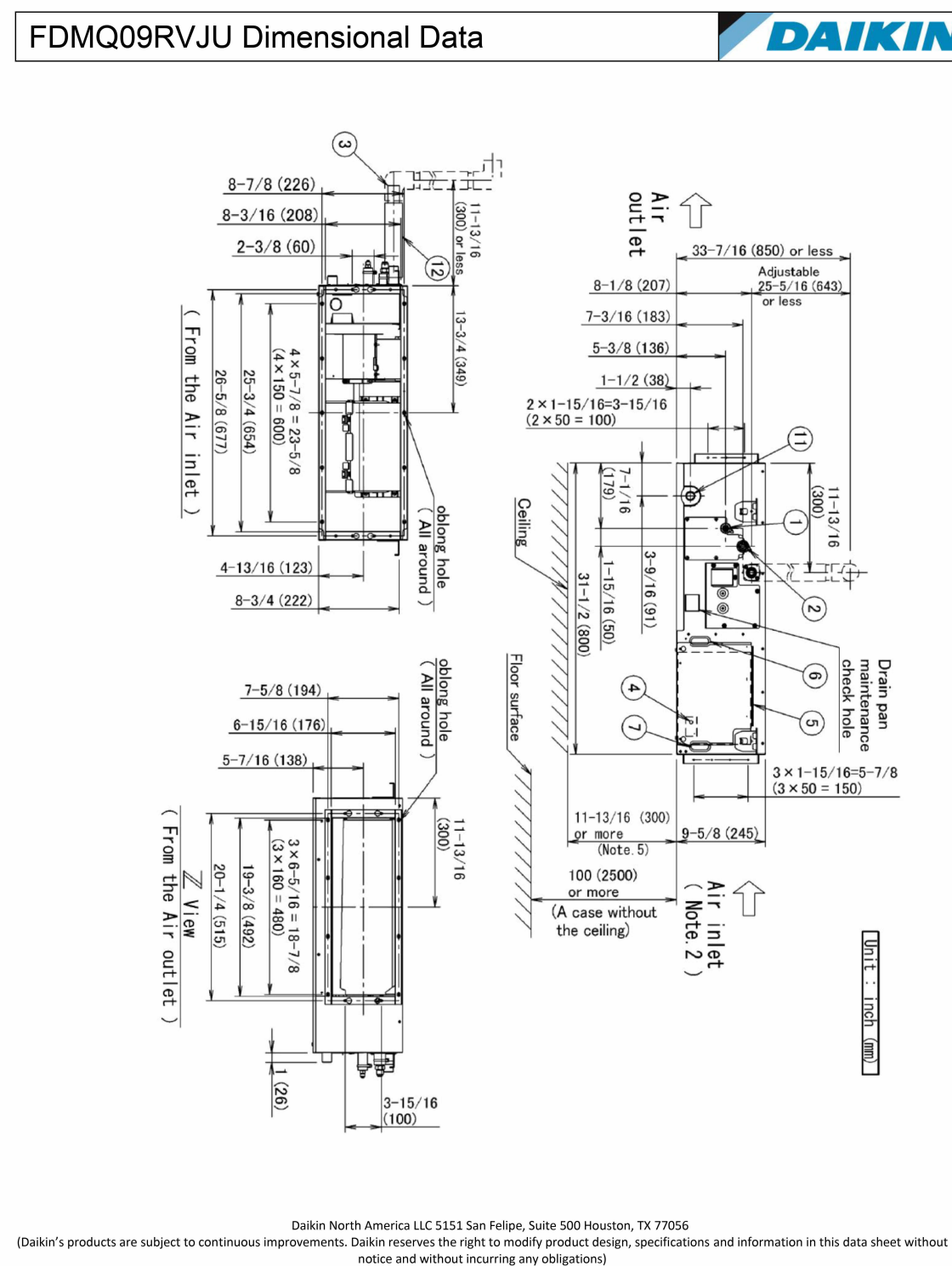
Included	Part Number	Description
	BRC1E73	Wirel Remote Controller
	BRC082A43	Wireless Remote Controller
	RRC501-4B	Remote Sensor
	DACA-CF2-1	Mini Orange Condensate Pump (up to 49 ft head)
	DACA-CF2-1	Mini Condensate Pump (up to 33 ft head)
	KRP1C74	Wiring Adaptor
	KRP1A98	Mounting Plate
	DFBS27A13	MERV 13 Filter Kit
	AZAHWSCDKA	DKN Cloud Wi-Fi Adaptor
	KRP4AT1	Group Control Adaptor PCB

Standard Equipment

Part Number	Description
2261080	Drain Pump
2261096	Floor Switch Assy

DAIKIN NORTH AMERICA LLC 5151 San Felipe, Suite 500 Houston, TX 77056
DAIKIN reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.

Submittal Revision Date: January 2020 Page 1 of 3



MECHANICAL NOTE

DUCTED MINI-SPLIT UNITS: PROVIDE DROP CEILING ACCESS PANELS, CONDENSATE LINES AND ETC. AS NEEDED

MINI SPLIT

FALVEY GARAGE REMODEL

539 ONATE PLACE, SANTA FE, NM

PLUMBING EQUIPMENT

DATE
Issue Date
SCALE
As indicated
DRAWN BY:
ANOU
CHECKED BY:
Checker

Revisions:
Revision date:

P102